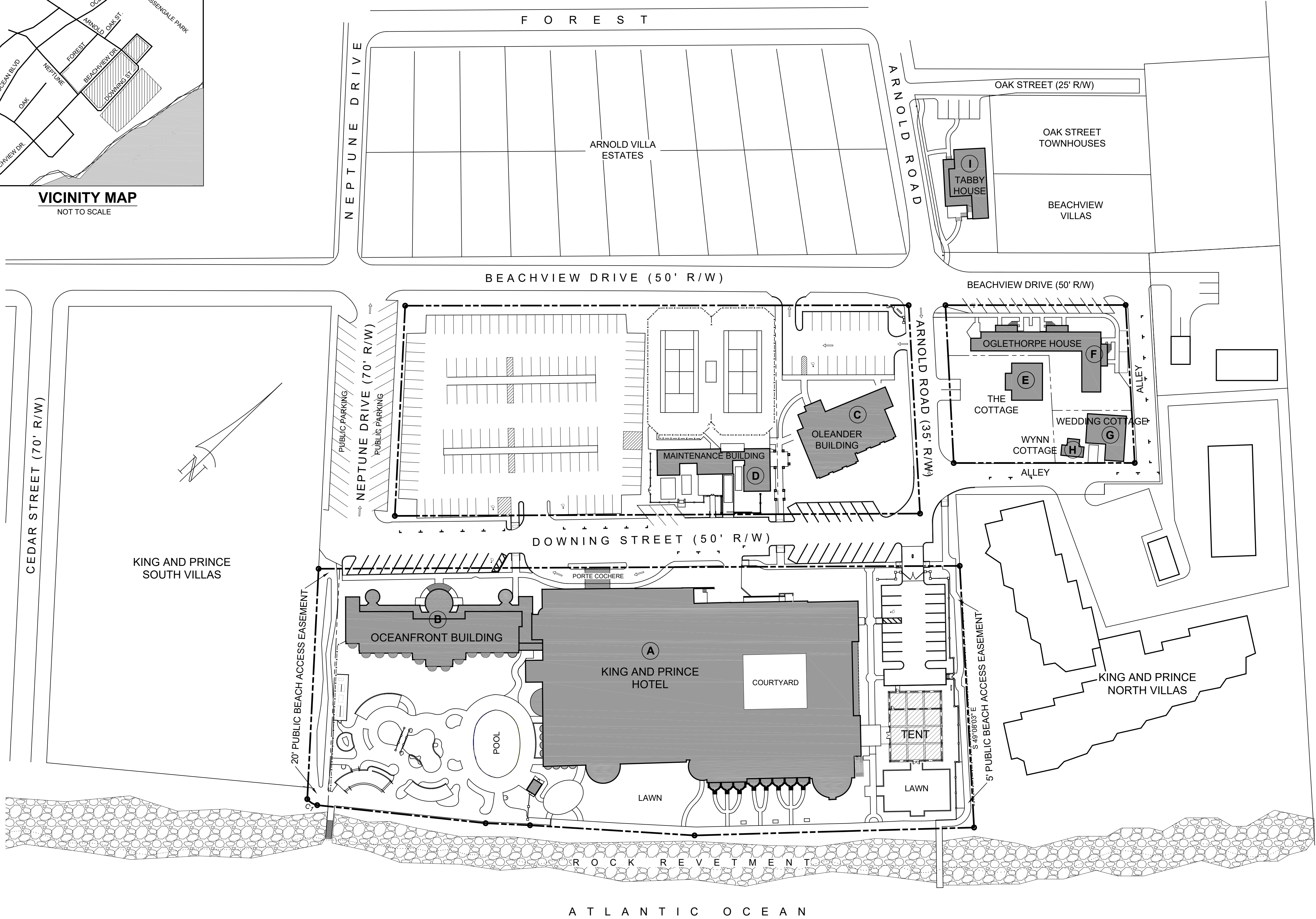


VICINITY MAP
NOT TO SCALE



SHEET INDEX	
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BUILDING DIRECTORY

- A- KING & PRINCE HOTEL
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- D- MAINTENANCE BUILDING
- E- THE COTTAGE
- F- OGLETHORPE HOUSE
- G- WEDDING COTTAGE
- H- WYNN COTTAGE
- I- TABBY HOUSE

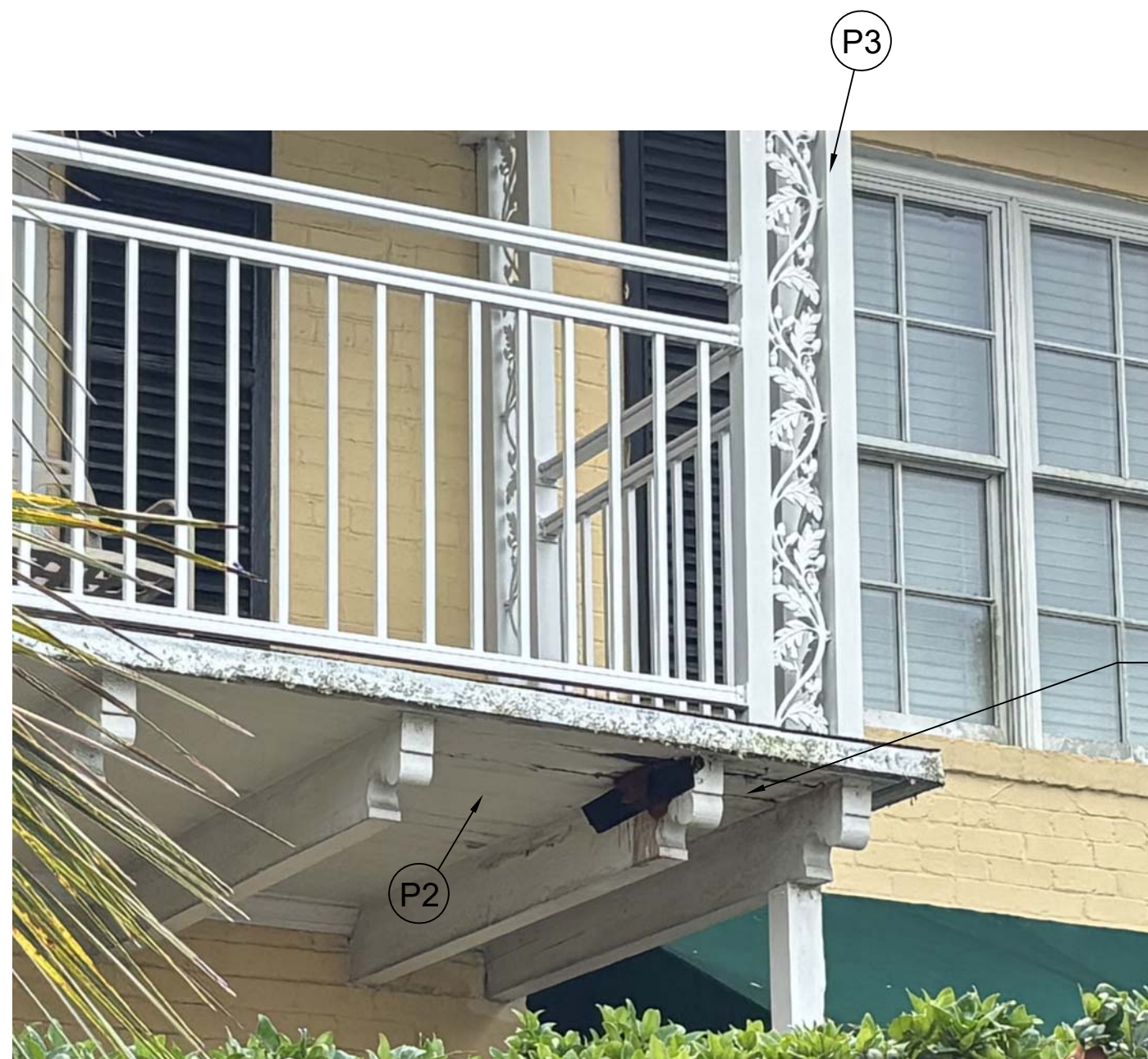
OVERALL SITE PLAN



KING & PRINCE
FACADE PROJECT

The King and Prince
RESORT
201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA

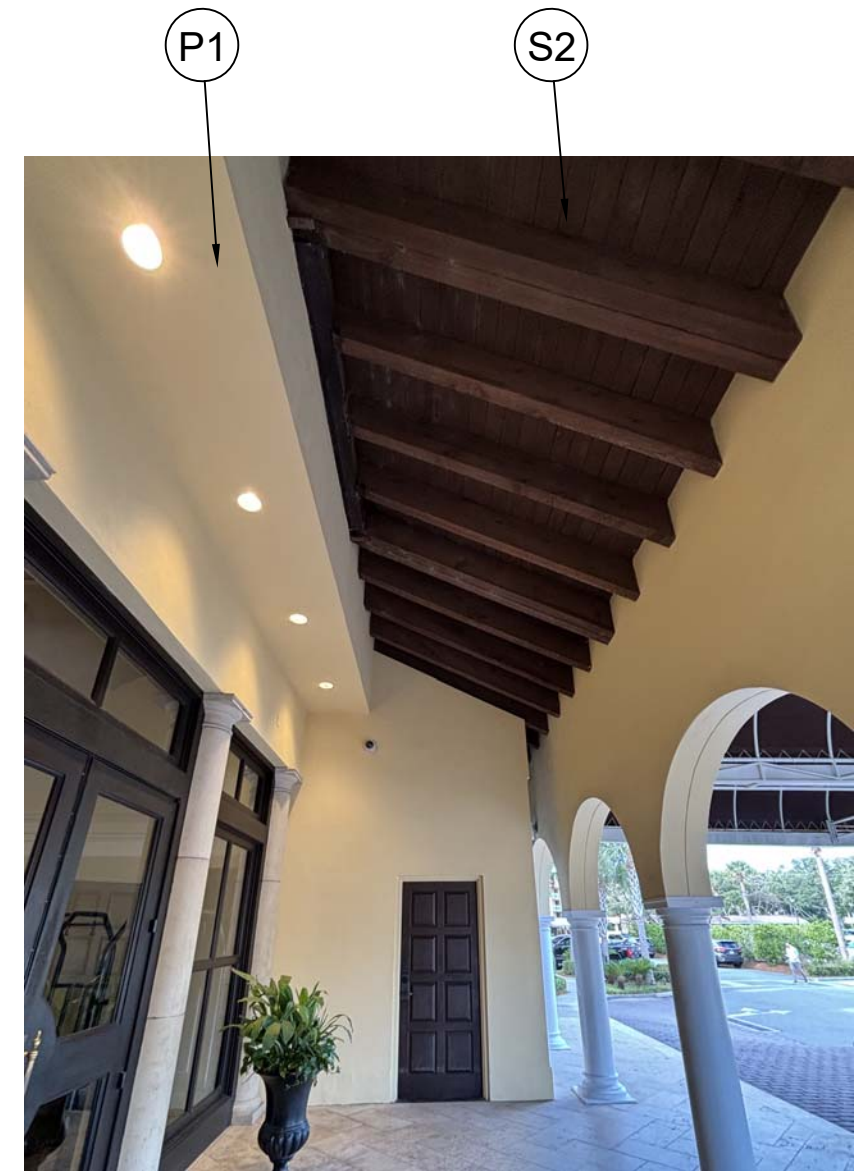
PROJECT NOTES		PROJECT SPECIFICATIONS		EXTERIOR FINISH SCHEDULE		MATERIAL & SYSTEMS SCHEDULE																									
				SYMBOL	SPECIFICATIONS	SYMBOL	SPECIFICATIONS																								
<div>1. IF CONFLICT ARISES IN THE ENCLOSED DRAWINGS CONTACT ARCHITECT PRIOR TO PROCEEDING</div> <div>2. ALL WORK, MATERIALS, METHODS, ETC., SHALL CONFORM TO ALL GOVERNING BUILDING CODES, ORDINANCES, REGULATIONS AND AGENCIES</div> <div>3. ALL NEW WORK TO MEET THE REQUIREMENTS OF 2018 INTERNATIONAL BUILDING CODE</div> <div>4. WHERE ANY CONFLICT EXISTS BETWEEN THESE DOCUMENTS & THE 2018 INTERNATIONAL BUILDING CODE, THE BUILDING CODE SHALL OVER RULE</div> <div>5. ALL STEEL DOORS WITH EXISTING PAINT FINISH, SHALL RECEIVE NEW PAINT. VERIFY COLOR</div> <div>6. REMOVE SHUTTERS BEFORE PAINTING. REINSTALL</div> <div>7. ALL WOOD SHUTTERS TO BE PREPPED & PAINTED. PROVIDE NEW SHUTTERS AS NEEDED WHERE WOOD SHUTTERS ARE BEYOND REPAIR. MATCH EXISTING</div> <div>8. COMPOSITE / VINYL SHUTTERS TO BE REMOVED, INSPECTED BY OWNER, PAINTED & REINSTALLED BY CONTRACTOR</div> <div>4. PREP & PAINT WOOD WINDOWS. REPAIR DETERIORATED WOOD AS NEEDED. PROVIDE NEW GLAZING AS NEEDED</div> <div>5. DO NOT PAINT CLAD WINDOWS</div> <div>7. DO NOT PAINT COPPER DRIP EDGE OR COPPER PARAPET CAP</div> <div>6. RESEAL ALL PARAPET CAP JOINTS, REMOVE EXISTING SEALANT, CLEAN & RESEAL AS NEEDED W/ SL-3.</div> <div>8. PREP & PAINT ALL EXPOSED STEEL LINTELS AT BRICK VENEER. SEE SCHEDULE FOR PAINT. ANY STEEL LINTELS DEGRADED PAST REPAIR SHALL BE REVIEWED ON SITE WITH OWNER AND REPLACED, TO MATCH EXISTING.</div> <div>9. ALL CONTROL JOINTS & EXPANSION JOINTS WITH EXISTING SEALANT, SHALL BE CLEANED AND RE-SEALED. SEE SPECIFICATIONS FOR NEW SEALANT TYPE. EJ-1</div> <div>10. PROVIDE NEW SEALANT AT ALL WINDOWS & DOORS. REMOVE EXISTING SEALANT AS NEEDED</div> <div>11. PATCH & SEAL ANY CRACKS IN STUCCO FINISHES, MATCH EXISTING TEXTURE.</div> <div>12. REPLACE DEGRADED STUCCO CORNER BEAD AS NEEDED AND REPAIR ASSOCIATED STUCCO FINISH.</div> <div>13. PROTECT ALL SURFACES NOT RECEIVING PAINT.</div> <div>14. NOTIFY OWNER OF ANY DEFICIENCIES DISCOVERED DURING PREP WORK.</div> <div>15. COORDINATE REPAIR WORK WITH OTHER TRADES AS NEEDED.</div> <div>16. RESEAL & PATCH CRACKED AREAS OF MODIFIED BITUMEN ROOF AT HOTEL BUILDING, SEE 'BECI CONDITION ASSET EVALUATION REPORT' 2025</div> <div>17. SCOPE OF REPAIR WORK NOT LIMITED TO EXTERIOR LEGEND MARKS, FIELD VERIFY ALL LOCATIONS.</div> <div>18. ANY NEW WOOD SHALL BE K.D.A.T. (KILN DRIED AFTER TREATMENT P.T. (PRESSURE TREATED) APPEARANCE GRADE - SUITABLE FOR TRIM.</div> <div>19. REPAIR DAMAGED TRIM AS REQUIRED, USE ABATRON WOOD EPOX AND OR ABATRON LIQUIDWOOD. FOLLOW MANUFACTURERS RECOMMENDED PROCESS & PROCEDURES FOR INSTALLATION. SAND FOR SEAMLESS TRANSITION. PRIME FOR NEW PAINT.</div> <div>20. ANY NEW FASTENERS SHALL BE STAINLESS STEEL</div> <div>21. REMOVE ANY ABANDONED CABLE & WIRING THROUGHOUT, INCLUDING MISC. BRACKETS</div> <div>22. COVER AND PROTECT FROM DAMAGE ALL EXTERIOR PARTS OF THE BUILDING NOT SCHEDULED FOR REPAIR.</div> <div>23. ALL SURFACE CONTAMINATION SUCH AS LOOSE PAINT, DIRT, FOREIGN MATTER, MOLD, MILDEW, AND VEGETATION, MUST BE REMOVED TO ASSURE SOUND BONDING TO THE OLD PAINT. WASH THOROUGHLY AND DULL BY SANDING. SPOT PRIME ANY BARE AREAS WITH APPROPRIATE PRIMER.</div> <div>24. REPOINT BRICK MORTAR JOINTS, AS NEEDED AT DETERIORATED LOCATIONS DISCOVERED DURING PAINT PREP</div> <div>25. REPLACE SEALANT AT TOP EDGE OF TERMINATION STRIP, AT THE INSIDE OF PARAPET WALLS.</div> <div>26. REPLACE SEALANT AT TOP EDGE OF SIDE WALL FLASHING, TYPICAL.</div> <div>27. CONTRACTOR TO VERIFY THE EXISTENCE OF LED BASED PAINTS ON THE PROJECT. IF LED BASED PAINTS ARE SUSPECTED ON THE PROJECT, ALL REMOVAL MUST BE DONE IN ACCORDANCE WITH THE EPA RENOVATION, REPAIR AND PAINTING AND ALL APPLICABLE STATE & LOCAL REGULATIONS.</div> <div>28. ALL PAINTS & SEALANTS, SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, INCLUDING REQUIRED PREP WORK</div> <div>29. AT CLAD WINDOWS, IN HISTORIC ROOMS & OCEAN FRONT ROOMS, LOCATED IN THE HOTEL BUILDING - REMOVE LOOSE CLADDING PIECES, RE-ATTACH WITH ADHESIVE AND PROVIDE SEALANT AS NEEDED TO ACHIEVE A WATER TIGHT SEAL</div>		<div>PART 1 - MISCELLANEOUS</div> <div>1.1 CONTRACTOR(S)</div> <div>A. GENERAL CONTRACTOR SHALL BE LICENSED IN THE STATE OF GEORGIA.</div> <div>B. SUB-CONTRACTORS SHALL BE LICENSED IN THE STATE OF GEORGIA AND CERTIFIED AS RECOMMENDED BY THE MANUFACTURER OF THE PRODUCT / SYSTEM BEING UTILIZED.</div> <div>1.2 INSURANCE</div> <div>A. INSURANCE REQUIREMENTS OF CONTRACTOR;</div> <div>1. WORKER'S COMPENSATION</div> <div>a. AMOUNT MEETING STATUTORY LIMITS MANDATED BY STATE AND FEDERAL LAWS</div> <div>2. BUILDER'S RISK</div> <div>a. AMOUNT REQUIRED TO COVER 100% OF ENTIRE PROJECT</div> <div>3. COMMERCIAL GENERAL LIABILITY</div> <div>a. AMOUNT MEETING STATUTORY LIMITS MANDATED BY STATE AND FEDERAL LAWS OR THE FOLLOWING, WHICHEVER IS GREATER;</div> <div>1) \$ 1,000,000 EACH OCCURRENCE</div> <div>2) \$ 2,000,000 GENERAL AGGREGATE</div> <div>3) \$ 1,000,000 PERSONAL AND ADVERTISING INJURY</div> <div>4) \$ 2,000,000 PRODUCTS-COMPLETED OPERATIONS AGGREGATE</div> <div>4. COMPREHENSIVE AUTOMOBILE LIABILITY</div> <div>a. AMOUNT MEETING STATUTORY LIMITS MANDATED BY STATE AND FEDERAL LAWS OR THE FOLLOWING, WHICHEVER IS GREATER;</div> <div>1) \$ 1,000,000 COMBINED SINGLE LIMIT BODILY INJURY AND PROPERTY DAMAGE</div> <div>2) \$ 1,000,000 BODILY INJURY EACH PERSON</div> <div>3) \$ 1,000,000 BODILY INJURY EACH OCCURRENCE</div> <div>4) \$ 1,000,000 PROPERTY DAMAGE EACH OCCURRENCE</div> <div>1.3 RETAINAGE</div> <div>A. THE OWNER WILL RETAIN 5% OF EACH REQUEST, UNLESS OTHERWISE NEGOTIATED.</div> <div>PART 2 - GENERAL REQUIREMENTS</div> <div>2.1 SUMMARY</div> <div>A. USE OF PREMISES</div> <div>1. OWNER OCCUPANCY: THE OWNER AND GUESTS WILL OCCUPY THE FACILITY AND GROUNDS DURING CONSTRUCTION.</div> <div>B. WORK RESTRICTIONS:</div> <div>1. DAILY ON-SITE WORK HOURS;</div> <div>MONDAY - FRIDAY: 8:00 AM - 6:00 PM</div> <div>SATURDAY: 8:00 AM - 6:00 PM</div> <div>SUNDAY: NO WORK ALLOWED</div> <div>2. THE OWNER RESERVES THE RIGHT TO STOP WORK IN SPECIFIC AREAS DUE TO EVENTS TAKING PLACE AT THE FACILITY.</div> <div>3. NONSMOKING PROPERTY: SMOKING IS NOT PERMITTED WITHIN ANY BUILDING OR ON THE PROPERTY UNLESS IN DESIGNATED AREAS.</div> <div>4. DAILY AND WEEKLY CLEANUP: THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA, DAILY CLEAN-UP OF WORK AREAS IS REQUIRED. WEEKLY CLEAN-UP OF THE ENTIRE PROPERTY IS REQUIRED.</div> <div>2.2 SUBMITTALS</div> <div>A. PROVIDE SUBMITTALS (PRODUCT DATA, SAMPLES, AND MOCK-UPS) FOR ALL SPECIFIED MATERIALS AND PRODUCTS. SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO WORK TAKING PLACE.</div> <div>2.3 PROCEDURES FOR HISTORIC TREATMENT</div> <div>A. PROTECT ADJACENT HISTORIC MATERIALS AGAINST DAMAGE AND SOILING DURING WORK.</div> <div>2.4 QUALITY REQUIREMENTS</div> <div>A. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER</div> <div>2.5 TEMPORARY UTILITIES & SAFETY:</div> <div>A. TEMPORARY UTILITIES: THE CONTRACTOR WILL BE ALLOWED TO USE THE UTILITIES ALREADY ON SITE (IE. ELECTRICAL AND WATER) AT NO COST, UNLESS NOTABLE OVERAGES IN USE ARE INCURRED. THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITY (PORTABLE TOILET) FOR THE DURATION OF THE PROJECT.</div> <div>B. SAFETY: THE CONTRACTOR SHALL PROVIDE ONE 5 LB. 2A-10B-C (OR LARGER) PORTABLE FIRE EXTINGUISHER IN ALL AREAS OF WORK READILY AVAILABLE FOR USE DURING THE COURSE OF WORK. PORTABLE FIRE EXTINGUISHERS SHALL BE PRESENT DURING ALL OPERATIONS INVOLVING ANY METAL WORKING THAT MAY RESULT IN SPARKS OR HOT SLAG BEING FORMED. (I.E. GRINDING, WELDING, CUTTING, ETC.)</div> <div>2.6 CUTTING AND PATCHING</div> <div>A. IN-PLACE MATERIALS: USE MATERIALS IDENTICAL TO IN-PLACE MATERIALS. FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH IN-PLACE ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE.</div> <div>2.7 SELECTIVE DEMOLITION</div> <div>A. COMPLY WITH ALL REGULATORY AGENCIES GOVERNING DEMOLITION, HAULING, AND DISPOSAL OF DEMOLITION WASTE MATERIAL.</div> <div>B. COMPLETELY REMOVE AND LEGALLY DISPOSE OF BUILDINGS AND SITE IMPROVEMENTS AS IDENTIFIED ON THE DEMOLITION PLANS TO INCLUDE SUB-GRADE STRUCTURES AND UTILITIES.</div> <div>2.8 LANDSCAPE</div> <div>A. LANDSCAPE SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES DURING WORK. THE GENERAL CONTRACTOR SHALL REPLACE ANY DAMAGED LANDSCAPING WITH SIMILAR SIZED LANDSCAPING AND OF THE SAME SPECIES.</div>		<div>P-1</div> <div>EXTERIOR PAINT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>PRIME COAT: LX02W0050 - LXN C&M PRIMER WH. APPLY @ 5.3 - 8.0 WET MILS</div> <div>2 COATS: LX14W0051 - LXN SELF-CLN SA EW. APPLY @ 5.0 - 7.0 WET MILS</div> <div>COLOR: SW 6140 MODERATE WHITE (VERIFY FINAL COLOR W/ OWNER)</div> <div>FINISH: SATIN, (SEMI-GLOSS AT CAST STONE COLUMNS AT HOTEL BUILDING & OLEANDER BUILDING)</div> <div>LOCATION: ALL EXTERIOR STUCCO, MASONRY, CAST STONE, CMU</div> <div>NOTES: SUBSTRATE MUST BE THOROUGHLY CLEANED AND PREPPED PRIOR TO APPLYING PRIMER. CHALK, DIRT, DEBRIS, AND LOOSE PAINT/MATERIAL NEEDS TO BE REMOVED PRIOR TO PRIMING. THIS CAN BE DONE BY PRESSURE WASHING AND SCRAPING. REMOVE ALL SURFACE CONTAMINATION BY WASHING WITH AN APPROPRIATE CLEANER, RINSE THOROUGHLY AND ALLOW TO DRY. EXISTING PEELED OR CHECKED PAINT SHOULD BE SCRAPED AND SANDED TO A SOUND SURFACE. GLOSSY SURFACES SHOULD BE SANDED DULL.</div>		<div>P-2</div> <div>EXTERIOR PAINT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>PRIMER: Y24W08020 - EXTERIOR OIL-BASED WOOD PRIMER. APPLY @ 4.0 - 5.0 WET MILS</div> <div>2 COATS: K48W01951 - EMRLD RNRF EXSA EW. APPLY & 5.3 - 6.4 WET MILS</div> <div>COLOR: SW 6140 MODERATE WHITE (VERIFY FINAL COLOR W/ OWNER) (VERIFY SHUTTER COLOR)</div> <div>FINISH: MATCH EXISTING</div> <div>LOCATION: ALL WOOD TRIM, SOFFIT, FASCIA & WOOD BALCONY & PORCH CEILINGS. 'HARDIE' PANEL - BOARD & BATTEN</div> <div>NOTE: REPAIR CRACKS, VOIDS, AND OTHER HOLES WITH AN APPROPRIATE PATCHING COMPOUND</div> <div>NOTE: SUBSTRATE MUST BE THOROUGHLY CLEANED AND PREPPED PRIOR TO APPLYING PRIMER. REMOVE ALL SURFACE CONTAMINATION SUCH AS OIL, GREASE, LOOSE PAINT, MILL SCALE DIRT, RUST, MOLD, MILDEW AND SEALERS MUST BE REMOVED TO ASSURE SOUND BONDING TO THE TIGHTLY ADHERING OLD PAINT. GLOSSY SURFACES OF OLD PAINT FILMS MUST BE CLEAN AND DULL BEFORE REPAINTING. THOROUGHLY WASH WITH AN ABRASIVE CLEANSER, OR WASH THOROUGHLY AND DULL BY SANDING. PATCH ALL NAIL HOLES AND IMPERFECTIONS WITH WOOD FILLER OR PUTTY AND SAND SMOOTH. CAULK SHOULD BE APPLIED AFTER PRIMING</div>		<div>P-3</div> <div>EXTERIOR PAINT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>PRIME COAT: B66W01310 - PI PROCRYL PR OF W. APPLY @ 5.0 - 10.0 WET MILS</div> <div>2 COATS: B53W05151 - PI WB ALK UR SG EW. APPLY @ 4.0 - 5.0 WET MILS</div> <div>COLOR: MATCH EXISTING (BLACK) (WHITE) VERIFY FINAL COLOR W OWNER. (BROWN - AT OGLETHORPE HOUSE DOOR)</div> <div>FINISH: SEMI-GLOSS</div> <div>LOCATION: METAL HANDRAILS, METAL DOORS & FRAMES</div> <div>NOTES: ALL SURFACE RUST MUST BE REMOVED PRIOR TO PRIMING. SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. REMOVE ALL LOOSE MILL SCALE, LOOSE RUST AND OTHER DETRIMENTAL FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION BY HAND CHIPPING, SCRAPING, SANDING, AND WIRE BRUSHING. BEFORE TOOL CLEANING, REMOVE SOLUBLE RESIDUES, AND SALTS.</div>		<div>P-4</div> <div>EXTERIOR PAINT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>PREPRIME: B58T00101 - MACROPOXY 920 PREPRIME RUST PENETRATING EPOXY PRE-PRIMER TRANSPARENT PART-A. B58V10 HARDNER. 3:1 MIX RATIO A to B. APPLY @ 1.5 - 2.0 WET MILS</div> <div>PRIME COAT: B58W00610 - MACROPOXY 646 FAST CURE EPOXY PART A MILL WHITE. B58V600 HARDNER. 1:1 MIX RATIO A TO B. APPLY @ 7.0 - 13.5 WET MILS</div> <div>FINISH COAT: B80W00551 - SHRLXN800 SG XWH A. B80W500 STANDARD TEMP HARDNER. 4:1 MIX RATIO A TO B @ 5.0 - 7.0 WET MILS</div> <div>COLOR: SW 6140 MODERATE WHITE (VERIFY FINAL COLOR W/ OWNER)</div> <div>FINISH: SEMI-GLOSS</div> <div>LOCATION: STEEL LINTEL AT WINDOWS, ANCHOR BOLTS & PIPE COLUMNS</div> <div>NOTES: POWER TOOL CLEANING REMOVES ALL LOOSE MILL SCALE, LOOSE RUST, AND OTHER DETRIMENTAL FOREIGN MATTER. IT IS NOT INTENDED THAT ADHERENT MILL SCALE, RUST, AND PAINT BE REMOVED BY THIS PROCESS. MIL SCALE, RUST, AND PAINT ARE CONSIDERED ADHERENT IF THEY CANNOT BE REMOVED BY LIFTING WITH A DULL PUTTY KNIFE. BEFORE POWER TOOL CLEANING, REMOVE VISIBLE OIL, GREASE, SOLUBLE WELDING RESIDUES, AND SALTS BY THE METHODS OUTLINED IN SSPC-SP1. FOR COMPLETE INSTRUCTIONS, REFER TO STEEL STRUCTURES PAINT COUNCIL SURFACE PREPARATION SPECIFICATION NO.3.</div>		<div>P-5</div> <div>EXTERIOR PAINT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>PRIMER: Y24W08020 - EXTERIOR OIL-BASED WOOD PRIMER. APPLY @ 4.0 - 5.0 WET MILS</div> <div>2 COATS: K48W01951 - EMRLD RNRF EXSA EW. APPLY & 5.3 - 6.4 WET MILS</div> <div>COLOR: (VERIFY FINAL COLOR W/ OWNER)</div> <div>FINISH: SATIN</div> <div>LOCATION: ALL WOOD SHUTTERS, ALL COMPOSITE / VINYL SHUTTERS</div> <div>NOTE: REPAIR CRACKS, VOIDS, AND OTHER HOLES WITH AN APPROPRIATE PATCHING COMPOUND</div> <div>NOTE: SUBSTRATE MUST BE THOROUGHLY CLEANED AND PREPPED PRIOR TO APPLYING PRIMER. REMOVE ALL SURFACE CONTAMINATION SUCH AS OIL, GREASE, LOOSE PAINT, MILL SCALE DIRT, RUST, MOLD, MILDEW, MORTAR, EFFLORESCENCE AND SEALERS MUST BE REMOVED TO ASSURE SOUND BONDING TO THE TIGHTLY ADHERING OLD PAINT. GLOSSY SURFACES OF OLD PAINT FILMS MUST BE CLEAN AND DULL BEFORE REPAINTING. THOROUGHLY WASH WITH AN ABRASIVE CLEANSER, OR WASH THOROUGHLY AND DULL BY SANDING. PATCH ALL NAIL HOLES AND IMPERFECTIONS WITH WOOD FILLER OR PUTTY AND SAND SMOOTH. CAULK SHOULD BE APPLIED AFTER PRIMING</div>		<div>S-1</div> <div>EXTERIOR STAIN</div> <div>MANUFACTURE: MINWAX®</div> <div>STAIN COAT: 066060000 MINWAX GEL STAIN WALNUT (VERIFY FINAL STAIN SELECTION W OWNER)</div> <div>3 COATS: 013210000 - MINWAX INDOOR/OUTDOOR HELMSMAN SPAR URETHANE VARNISH SEMI-GLOSS CLEAR. APPLY @ 2.0 - 3.0 WET MILS</div> <div>FINISH: SEMI-GLOSS</div> <div>COLOR: AS SELECTED. (VERIFY W OWNER)</div> <div>LOCATION: ALL EXISTING STAINED DOORS</div> <div>NOTES: SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. REMOVE ALL LOOSE COATINGS AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION BY HAND CHIPPING, SCRAPING, SANDING, AND WIRE BRUSHING. BEFORE TOOL CLEANING, REMOVE SOLUBLE RESIDUES, AND SALTS.</div>		<div>S-2</div> <div>EXTERIOR STAIN</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>FIRST COAT: A19T00554 - WDSCPS RR SC UD. APPLY @ 4.5 WET MILS</div> <div>SECOND COAT: A19T00554 - WDSCPS RR SC UD. APPLY @ 4.5 WET MILS</div> <div>COLOR: AS SELECTED. (VERIFY W OWNER)</div> <div>LOCATION: ALL EXISTING STAINED PORCH CEILINGS AT HOTEL BUILDING</div> <div>NOTES: ALL SURFACES MUST BE CLEAN, DRY AND FREE FROM DIRT, MILDEW STAINS, DUST AND OTHER FOREIGN MATTER. REMOVE SURFACE STAINS, DIRT AND FAILED OXIDIZED STAINS OR FINISHES.</div>		<div>SP-1</div> <div>STUCCO - SMALL PATCH COMPOUNDS</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>STUCCO: WL70010GT - MASONRY PATCH AND SEAL 11 oz. TEXTURED</div> <div>LOCATION: EXTERIOR STUCCO CRACKS ¼" TO ¾"</div> <div>NOTES: INSTALL PER MANUFACTURERS INSTRUCTIONS</div> <div>NOTES: BRIDGE OVER VOIDS AND SMALL CRACKS UP TO 1/16" WIDE USING CONCRETE & MASONRY PATCH. TO ENSURE THAT THE REPAIRED AREA BLENDS INTO THE SURROUNDING SURFACE, PROVIDE SUFFICIENT CREST OVER THE OPENING TO ALLOW FOR SHRINKAGE. THE PATCH MUST BE FEATHERED TO ZERO AT THE EDGES USING A BRUSH, KNIFE, OR TROWEL. DO NOT APPLY MORE THAN 1/4" IN DEPTH IN ONE APPLICATION</div> <div>NOTES: CRACKS AND VOIDS BETWEEN 1/16" AND 3/8" WIDE SHOULD BE OPENED TO A SOUND SURFACE. TO ENSURE THAT THE REPAIRED AREA BLENDS INTO THE SURROUNDING SURFACE, PROVIDE SUFFICIENT CREST OVER THE OPENING TO ALLOW FOR SHRINKAGE. THE PATCH MUST BE FEATHERED TO ZERO AT THE EDGES USING A BRUSH, KNIFE, OR TROWEL. TO PREVENT THE REPAIRED OPENING FROM TELEGRAPHING THROUGH THE SUBSEQUENT FINISHES, DO NOT APPLY MORE THAN 1/4" IN DEPTH IN ONE APPLICATION. THE DEPTH OF THE OPENING SHOULD BE 1/2 THE WIDTH OF THE OPENING, WITH A MAXIMUM DEPTH OF 1/2". IN DEEP OPENINGS, THE DEPTH OF THE PATCH SHOULD BE CONTROLLED WITH A CLOSED CELL, "NON-GASSING" TYPE BACKER ROD. IF THE OPENING IS 1/4" OR GREATER, FOR MAXIMUM PERFORMANCE, PREVENT 3 POINT ADHESION WITH BACKER RODS OR BOND BREAKER TAPE.</div>		<div>SP-2</div> <div>STUCCO - SMALL PATCH COMPOUNDS</div> <div>MANUFACTURE: RAPID SET®</div> <div>STUCCO: 09784711 - RAPID SET STUCCO NO. 10 TEXTURED</div> <div>LOCATION: EXTERIOR STUCCO CRACKS ¼" TO 1"</div> <div>NOTE: INSTALL PER MANUFACTURES INSTRUCTIONS</div> <div>NOTE: APPLICATION SURFACE MUST BE CLEAN, SOUND AND FREE FROM ANY MATERIALS THAT MAY INHIBIT BOND, SUCH AS OIL, CURING COMPOUND, ACID, DIRT AND LOOSE DEBRIS. ROUGHEN SURFACE AND REMOVE ALL UNSOUND MATERIAL. OPEN CRACKS TO MINIMUM ¾" WIDTH. IN HOT, DRY, OR WINDY ENVIRONMENTS, PRE-WETTING OF THE SURFACE TO BE PATCHED MAY BE NECESSARY.</div>		<div>SR-1</div> <div>STUCCO - FULL REPAIR</div> <div>MANUFACTURE: TOTAL WALL & SHERWIN- WILLIAMS®</div> <div>STUCCO: 09450214 - 'TOTAL WALL' JRNYMN SHTBLST MB</div> <div>PRIME COAT: LX02W0050 - LXN C&M PRIMER WH. APPLY @ 5.3 - 8.0 WET MILS</div> <div>2 COATS: LX14W0051 - LXN SELF-CLN SA EW. APPLY @ 5.0 - 7.0 WET MILS</div> <div>COLOR: WHITE (VERIFY FINAL COLOR W/ OWNER)</div> <div>FINISH: SATIN</div> <div>LOCATION: FULL REPAIR STUCCO</div> <div>NOTES: APPLICATION SURFACE MUST BE CLEAN, SOUND AND FREE FROM ANY MATERIALS THAT MAY INHIBIT BOND, SUCH AS OIL, CURING COMPOUND, ACID, DIRT AND LOOSE DEBRIS. ROUGHEN SURFACE AND REMOVE ALL UNSOUND MATERIAL</div>		<div>EJ-1</div> <div>EXPANSION JOINTS</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>SEALANT: LX21S0043 - SU 1S WHITE 20 OZ</div> <div>COLOR: WHITE</div> <div>NOTES: JOINTS LARGER THAN ½" SHOULD BE FILLED WITHIN ½" OF THE SURFACE WITH POLYURETHANE ROD OR CLOSED CELL URETHANE FOAM</div> <div>NOTES: INSTALL PER MANUFACTURES DIRECTIONS</div>		<div>SL-1</div> <div>WINDOW & DOOR SEALANT</div> <div>MANUFACTURE: SHERWIN- WILLIAMS®</div> <div>SEALANT: WL001360A - CAULK - SHER-MAX ULTRA URETHANIZED ELASTOMERIC SEALANT 11 OZ.</div> <div>COLOR: WHITE</div> <div>NOTES: JOINTS MORE THAN ½" SHOULD BE FILLED WITHIN ½" OF THE SURFACE WITH POLYURETHANE ROD OR CLOSED CELL URETHANE FOAM.</div> <div>NOTE: INSTALL PER MANUFACTURERS INSTRUCTIONS</div> <div>NOTES: SURFACES TO BE CAULKED/SEALED MUST BE CLEAN, DRY AND FREE FROM OILS, LOOSE MORTAR, LAITANCE, FORM RELEASE AGENTS, OLD CAULKING, OLD PAINT OR OTHER CONTAMINANTS. ALLOW NEW CONCRETE TO CURE FOR 30 DAYS BEFORE CAULKING.</div>		<div>SL-2</div> <div>FLASHING SEALANT - SIDE WALL & TERMINATION STRIPS</div> <div>MANUFACTURE: UNIFLEX</div> <div>SEALANT: KST058300 - UF MS HYB RS-WHITE</div> <div>COLOR: WHITE</div> <div>NOTES: INSTALL PER MANUFACTURERS INSTRUCTIONS</div> <div>NOTES: SURFACES TO BE CAULKED/SEALED MUST BE CLEAN, DRY AND FREE FROM OILS, LOOSE MORTAR, LAITANCE, FORM RELEASE AGENTS, OLD CAULKING, OLD PAINT OR OTHER CONTAMINANTS. ALLOW NEW CONCRETE TO CURE FOR 30 DAYS BEFORE CAULKING</div>		<div>SL-3</div> <div>SEALANT - AT PARAPET CAP</div> <div>MANUFACTURE: UNIFLEX</div> <div>SEALANT: KST058350 - UF MS HYB RS-CLEAR</div> <div>COLOR: CLEAR</div> <div>NOTES: INSTALL PER MANUFACTURERS INSTRUCTIONS</div> <div>NOTES: SURFACES TO BE CAULKED/SEALED MUST BE CLEAN, DRY AND FREE FROM OILS, LOOSE MORTAR, LAITANCE, FORM RELEASE AGENTS, OLD CAULKING, OLD PAINT OR OTHER CONTAMINANTS. ALLOW NEW CONCRETE TO CURE FOR 30 DAYS BEFORE CAULKING</div>	
						CONTACT: SHERWIN WILLIAMS MR. LOGAN DULL LOGAN.G.DULL@SHERWIN.COM C:912.270.5210 O:912.265.3695																									
						<div>KING & PRINCE</div> <div>FACADE PROJECT</div>																									



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A1
DETAIL
N.T.S.



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A1
DETAIL
N.T.S.



3
A1
DETAIL
N.T.S.

SCOPE OUTLINE (KING & PRINCE MAIN BUILDING)

1. PREP & PAINT ALL STUCCO, REPAIR ALL CRACKS, SP-1, SP-2, OR SR-1 VERIFY
2. PREP & PAINT ALL BRICK, REPOINT MORTAR JOINTS, AS NEEDED AT DETERIORATED LOCATIONS.
3. PREP & PAINT ALL RAILINGS & HANDRAILS.
4. REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1.
5. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PREOVIDE NEW SEALNT ELJ-1 OR SL-1 VERIFY.
6. PREP & PAINT ALL FASCIA & SOFFIT.
7. PREP & PAINT ALL PORCH & BALCONY CEILINGS.
8. PREP & PAINT STEEL DOORS.
9. PREP & STAIN ENTRY DOORS, AS SPECIFIED.
10. INSPECT ROOF TILES & REPLACE BROKEN / MISSING TILES.
11. REMOVE SEALANT AT ALL SIDE-WALL ROOF FLASHING LOCATIONS, PROVIDE NEW SEALANT SL-2.
12. PREP AND RE-PATCH MODIFIED BITMUEN ROOF AS NEEDED AT CRAZING & DETERIORATED JUNCTIONS.
13. REMOVE SEALANT AT ALL PARAPET CAP JOINTS, PROVIDE NEW SEALANT SL-3.
14. AT CLAD WINDOWS, IN HISTORIC ROOMS & OCEAN FRONT ROOMS, LOCATED IN THE HOTEL BUILDING - REMOVE LOOSE CLADDING PIECES, RE-ATTACH WITH ADHESIVE AND PROVIDE SEALANT AS NEEDED TO ACHIEVE A WATER TIGHT SEAL

GENERAL NOTES

1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT



NORTHWEST ELEVATION



NORTHWEST ELEVATION



GENERAL NOTES

- CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
- SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
- SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

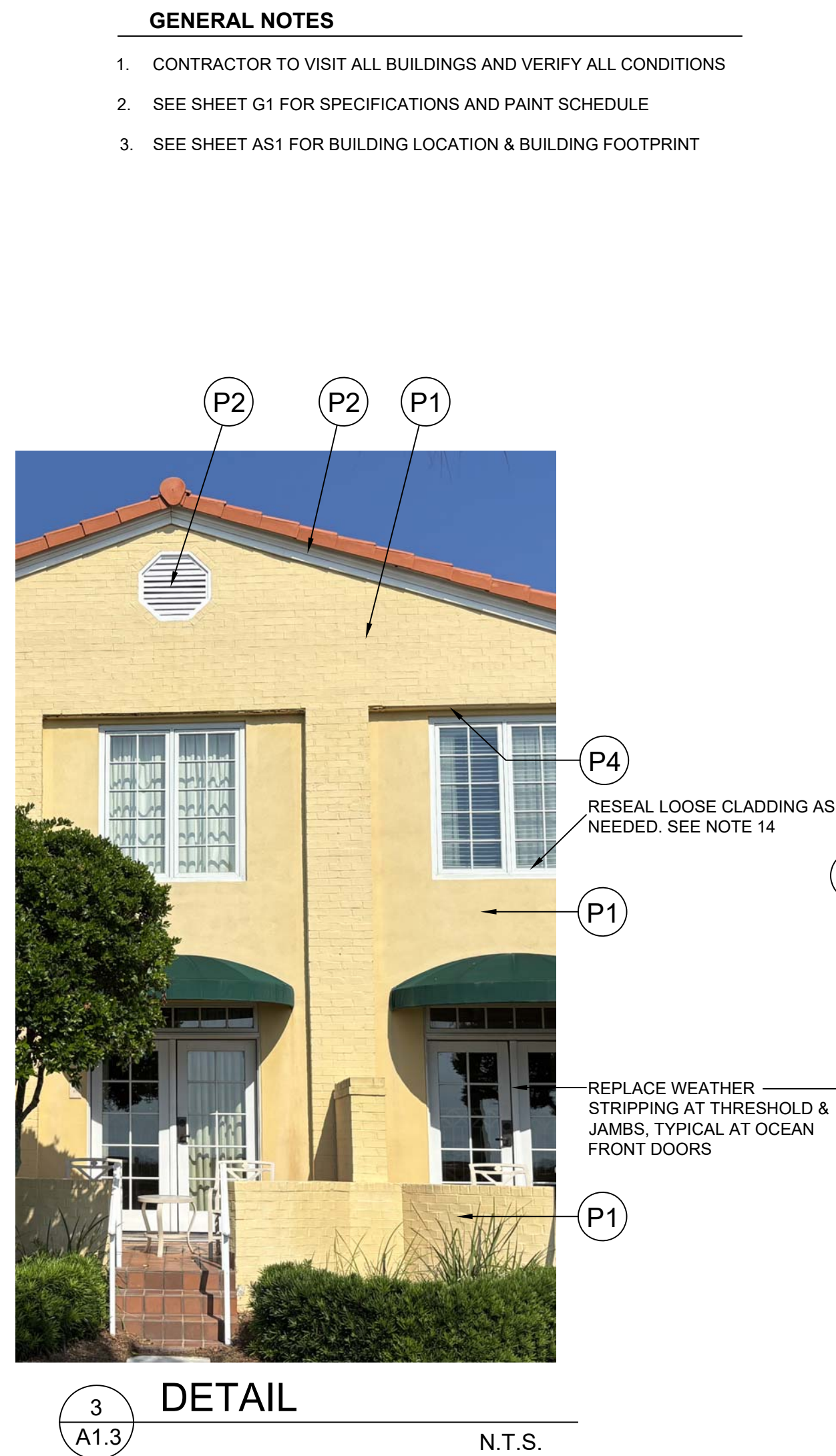
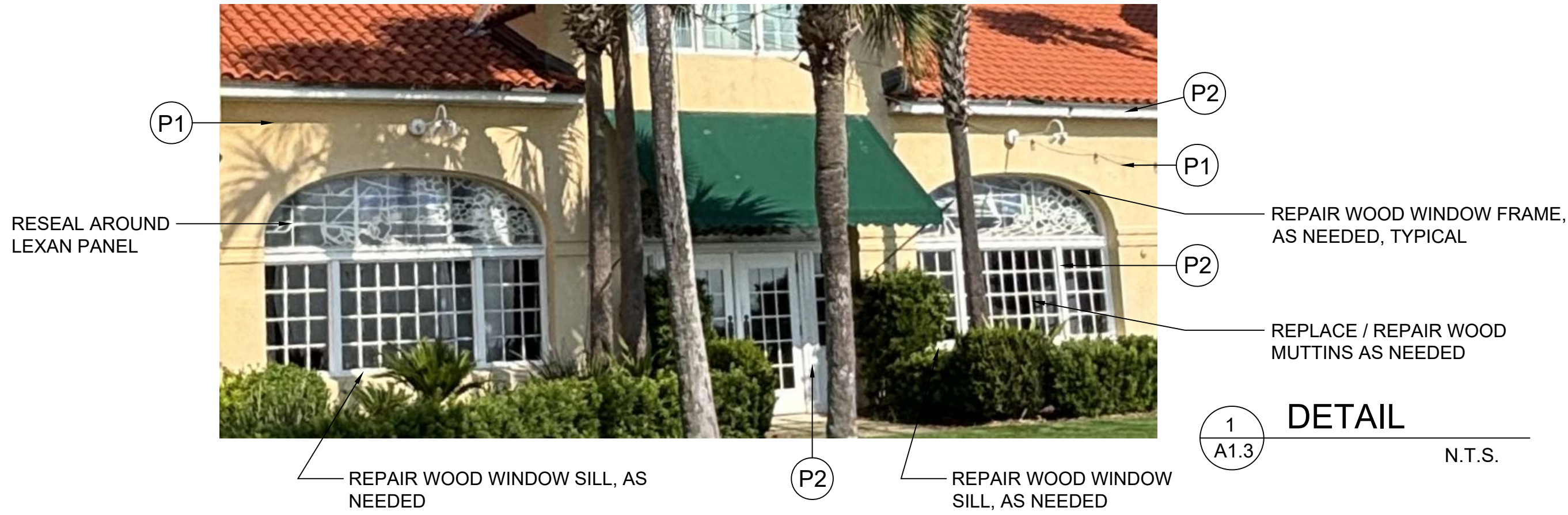
SCOPE OUTLINE (KING & PRINCE MAIN BUILDING)

- PREP & PAINT ALL STUCCO, REPAIR ALL CRACKS, SP-1, SP-2, OR SR-1 VERIFY
- PREP & PAINT ALL BRICK, REPOINT MORTAR JOINTS, AS NEEDED AT DETERIORATED LOCATIONS.
- PREP & PAINT ALL RAILINGS & HANDRAILS.
- REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1.
- REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PREOVIDE NEW SEALNT EJ-1 OR SL-1 VERIFY.
- PREP & PAINT ALL FASCIA & SOFFIT.
- PREP & PAINT ALL PORCH & BALCONY CEILINGS.
- PREP & PAINT STEEL DOORS.
- PREP & STAIN ENTRY DOORS, AS SPECIFIED.
- INSPECT ROOF TILES & REPLACE BROKEN / MISSING TILES.
- REMOVE SEALANT AT ALL SIDE-WALL ROOF FLASHING LOCATIONS, PROVIDE NEW SEALANT SL-2.
- PREP AND RE-PATCH MODIFIED BITMUEN ROOF AS NEEDED AT CRAZING & DETERIORATED JUNCTIONS.
- REMOVE SEALANT AT ALL PARAPET CAP JOINTS, PROVIDE NEW SEALANT SL-3.
- AT CLAD WINDOWS, IN HISTORIC ROOMS & OCEAN FRONT ROOMS, LOCATED IN THE HOTEL BUILDING - REMOVE LOOSE CLADDING PIECES, RE-ATTACH WITH ADHESIVE AND PROVIDE SEALANT AS NEEDED TO ACHIEVE A WATER TIGHT SEAL

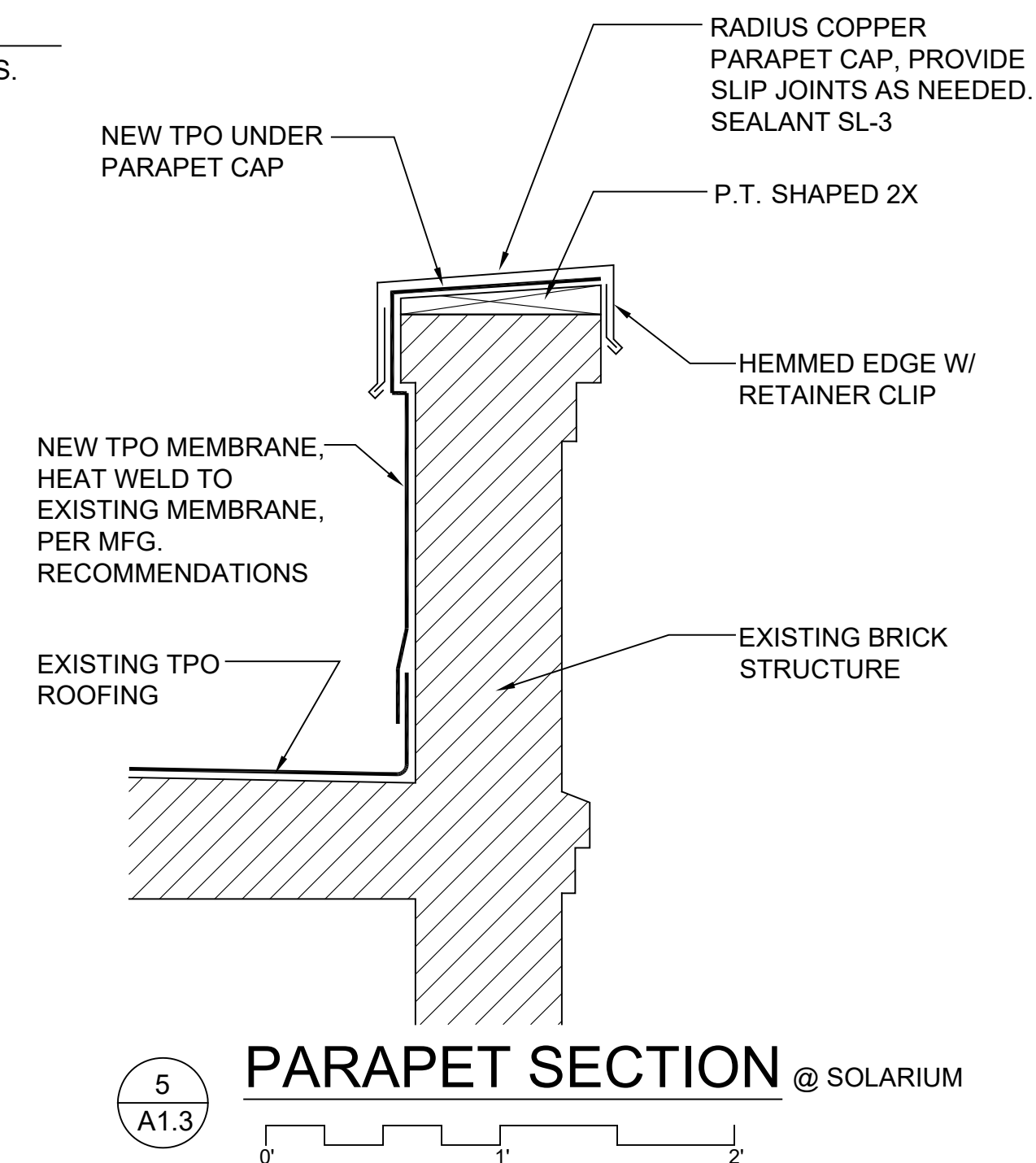
KING & PRINCE
FACADE PROJECT

The King and Prince
RESORT
201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA

2519	11-12-25
A1.2	



SOUTHEAST ELEVATION



KING & PRINCE
FACADE PROJECT

The King and Prince
RESORT
201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA



GENERAL NOTES

1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

SCOPE OUTLINE (KING & PRINCE MAIN BUILDING)

1. PREP & PAINT ALL STUCCO, REPAIR ALL CRACKS, SP-1, SP-2, OR SR-1 VERIFY
2. PREP & PAINT ALL BRICK, REPOINT MORTAR JOINTS, AS NEEDED AT DETERIORATED LOCATIONS.
3. PREP & PAINT ALL RAILINGS & HANDRAILS.
4. REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1.
5. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PREOVIDE NEW SEALNT EJ-1 OR SL-1 VERIFY.
6. PREP & PAINT ALL FASCIA & SOFFIT.
7. PREP & PAINT ALL PORCH & BALCONY CEILINGS.
8. PREP & PAINT STEEL DOORS.
9. PREP & STAIN ENTRY DOORS, AS SPECIFIED.
10. INSPECT ROOF TILES & REPLACE BROKEN / MISSING TILES.
11. REMOVE SEALANT AT ALL SIDE-WALL ROOF FLASHING LOCATIONS, PROVIDE NEW SEALANT SL-2.
12. PREP AND RE-PATCH MODIFIED BITUMEN ROOF AS NEEDED AT CRAZING & DETERIORATED JUNCTIONS.
13. REMOVE SEALANT AT ALL PARAPET CAP JOINTS, PROVIDE NEW SEALANT SL-3.
14. AT CLAD WINDOWS, IN HISTORIC ROOMS & OCEAN FRONT ROOMS, LOCATED IN THE HOTEL BUILDING - REMOVE LOOSE CLADDING PIECES, RE-ATTACH WITH ADHESIVE AND PROVIDE SEALANT AS NEEDED TO ACHIEVE A WATER TIGHT SEAL

**KING & PRINCE
FACADE PROJECT**

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201 ARNOLD ROAD
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NORTHWEST ELEVATION



SOUTHEAST ELEVATION



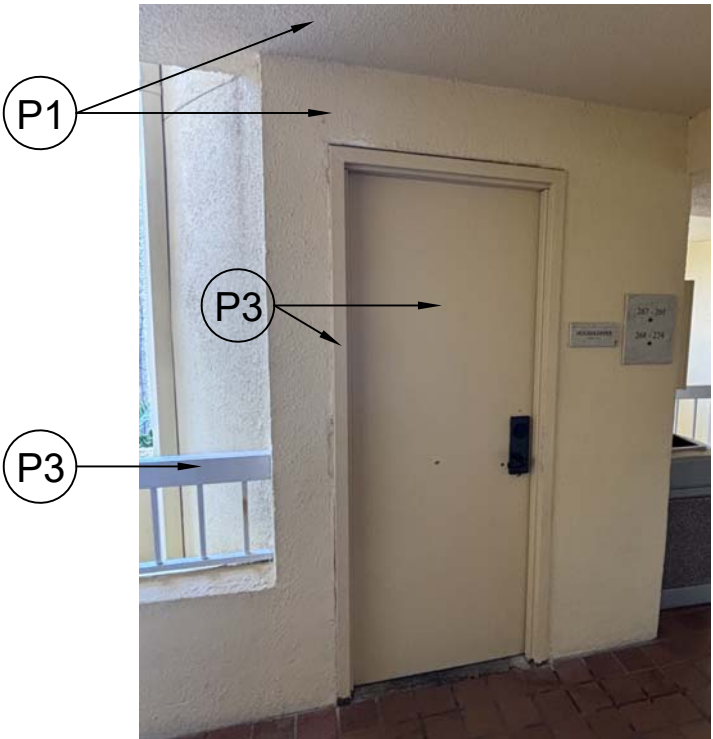
SOUTH WEST ELEVATION



1 B1 DETAIL N.T.S.



2 B1 DETAIL N.T.S.



3 B1 DETAIL N.T.S.



4 B1 DETAIL N.T.S.

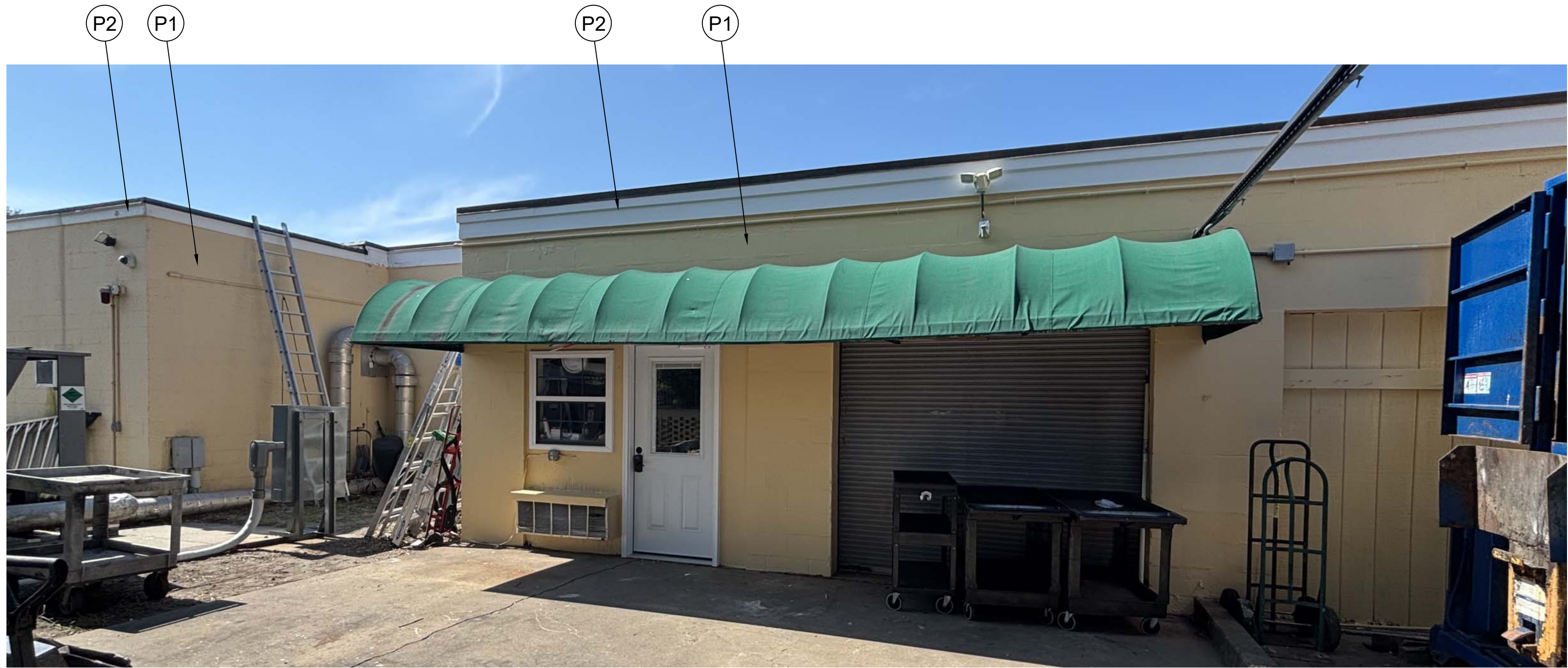
- SCOPE OUTLINE (OCEANFRONT BUILDING)**
1. PREP & PAINT ALL STUCCO, REPAIR ALL CRACKS. SP-1, SP-2, OR SP-3 VERIFY
 2. PREP & PAINT ALL RAILINGS & HANDRAILS.
 3. REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1.
 4. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, POROVIDE NEW SEALANT EJ-1 OR SL-1 VERIFY.
 5. PREP & PAINT ALL FASCIA & SOFFIT.
 6. PREP & PAINT ALL PORCH & BALCONY CEILINGS.
 7. PREP & PAINT STEEL DOORS
 8. PREP & STAIN ENTRY DOORS
 9. INSPECT ROOF TILES & REPLACE BROKEN / MISSING TILES
 10. REMOVE SEALANT AT ALL SIDE-WALL ROOF FLASHING LOCATIONS, PROVIDE NEW SEALANT SL-2

- GENERAL NOTES**
1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
 2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
 3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

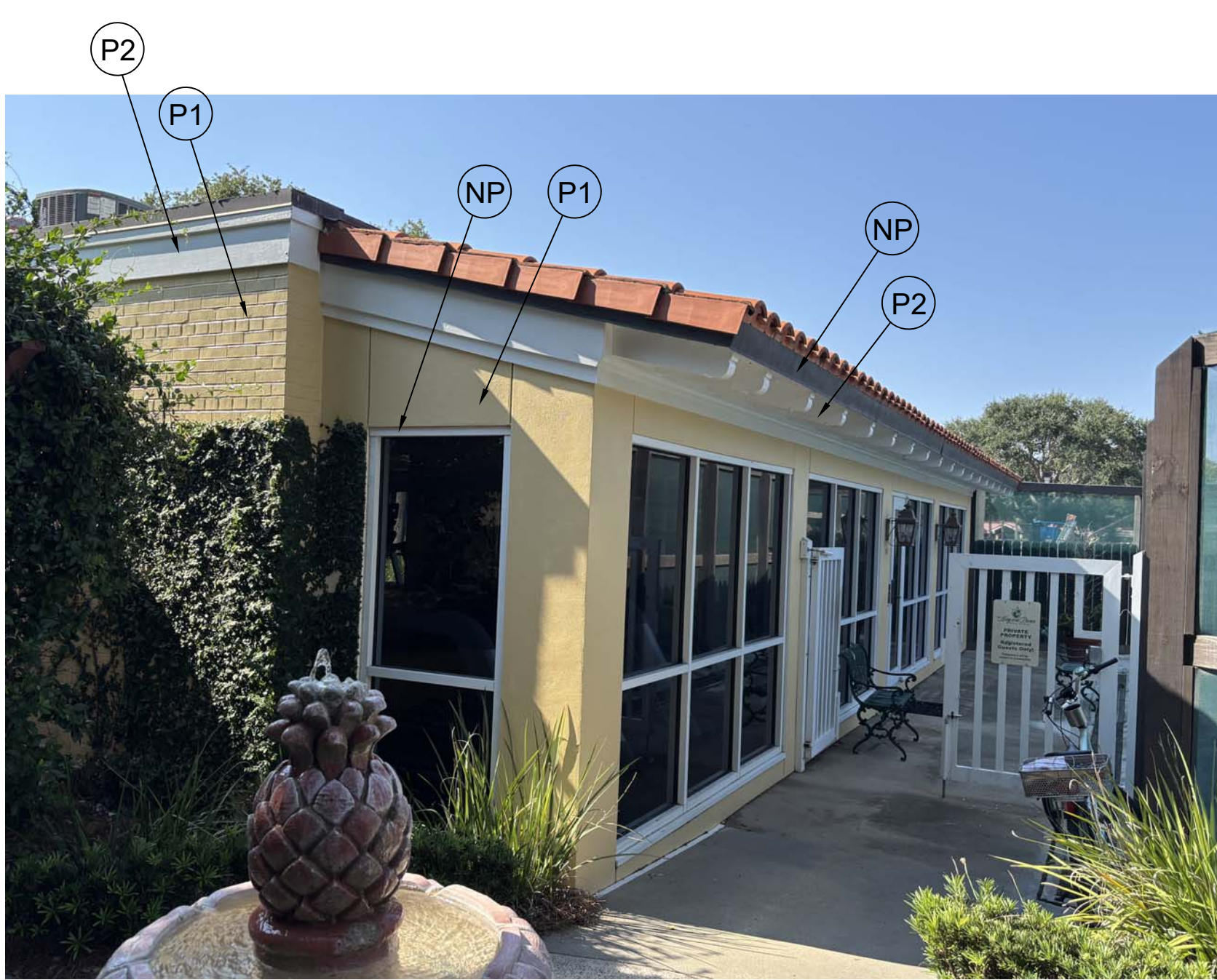
OCEAN FRONT BUILDING
FACADE PROJECT

The King and Prince
RESORT
201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA

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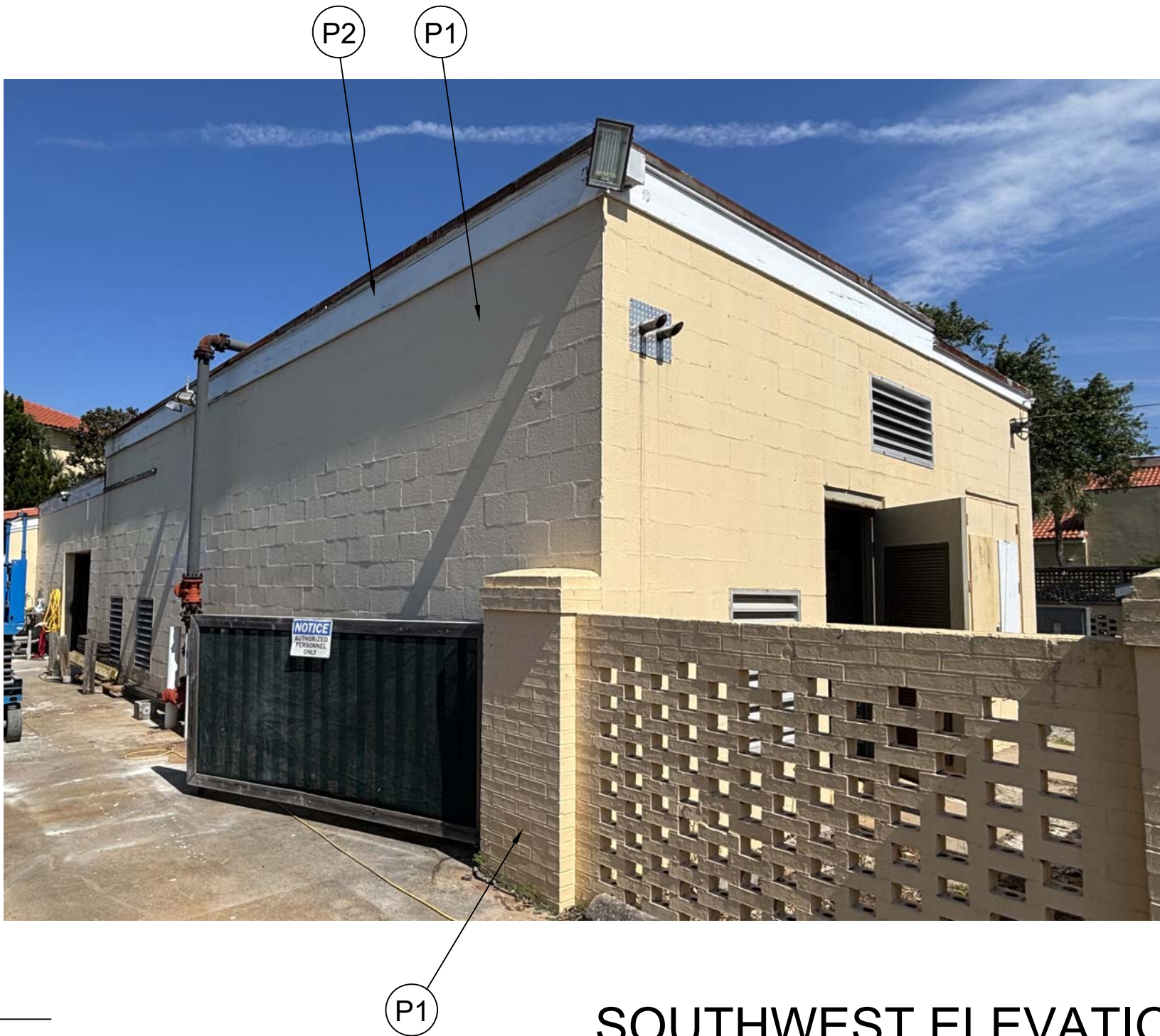
SOUTHEAST ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION



SOUTHWEST ELEVATION

SCOPE OUTLINE (MAINTENANCE BUILDING)

1. PREP & PAINT ALL CMU WALLS
2. REPAIR ROTTEN WINDOW SILLS & ANY ROTTEN TRIM. USE ABATRON WOOD EPOX AND OR ABATRON LIQUIDWOOD. SAND FOR SEAMLESS TRANSITION, PRIME FOR NEW PAINT.
3. REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1
4. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PROVIDE NEW SEALANT EJ-1 OR SL-1 VERIFY
5. PREP & PAINT FASCIA
6. PREP & PAINT DOORS

GENERAL NOTES

1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

**MAINTENANCE & FITNESS BUILDING
FACADE PROJECT**

The King and Prince
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201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA

2519	11-12-25
D1	



SOUTHWEST ELEVATION



REPAIR OR REPLACE WOOD TRIM / SILL, AS NEEDED. TYPICAL

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E1
DETAIL

N.T.S.



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E1
DETAIL

N.T.S.



SOUTHEAST ELEVATION

PAINT STUCCO BASE & RISERS AT STAIR. P-1



NORTHEAST ELEVATION

SCOPE OUTLINE (THE COTTAGE)

1. PREP & PAINT ALL STUCCO
2. PREP & PAINT ALL COLUMNS / RAILING
3. PREP & PAINT PORCH CEILING
4. REPAIR ROTTEN WINDOW SILLS & ANY ROTTEN TRIM. USE ABATRON WOOD EPOX AND OR ABATRON LIQUIDWOOD. SAND FOR SEAMLESS TRANSITION. PRIME FOR NEW PAINT.
5. REMOVE SEALANT AT ALL WINDOWS & DOORS. PROVIDE NEW SEALANT SL-1
6. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PROVIDE NEW SEALANT EJ-1 OR SL-1 VERIFY
7. PREP & PAINT FASCIA & SOFFIT
8. PREP & PAINT DOORS

GENERAL NOTES

1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

THE COTTAGE
FACADE PROJECT

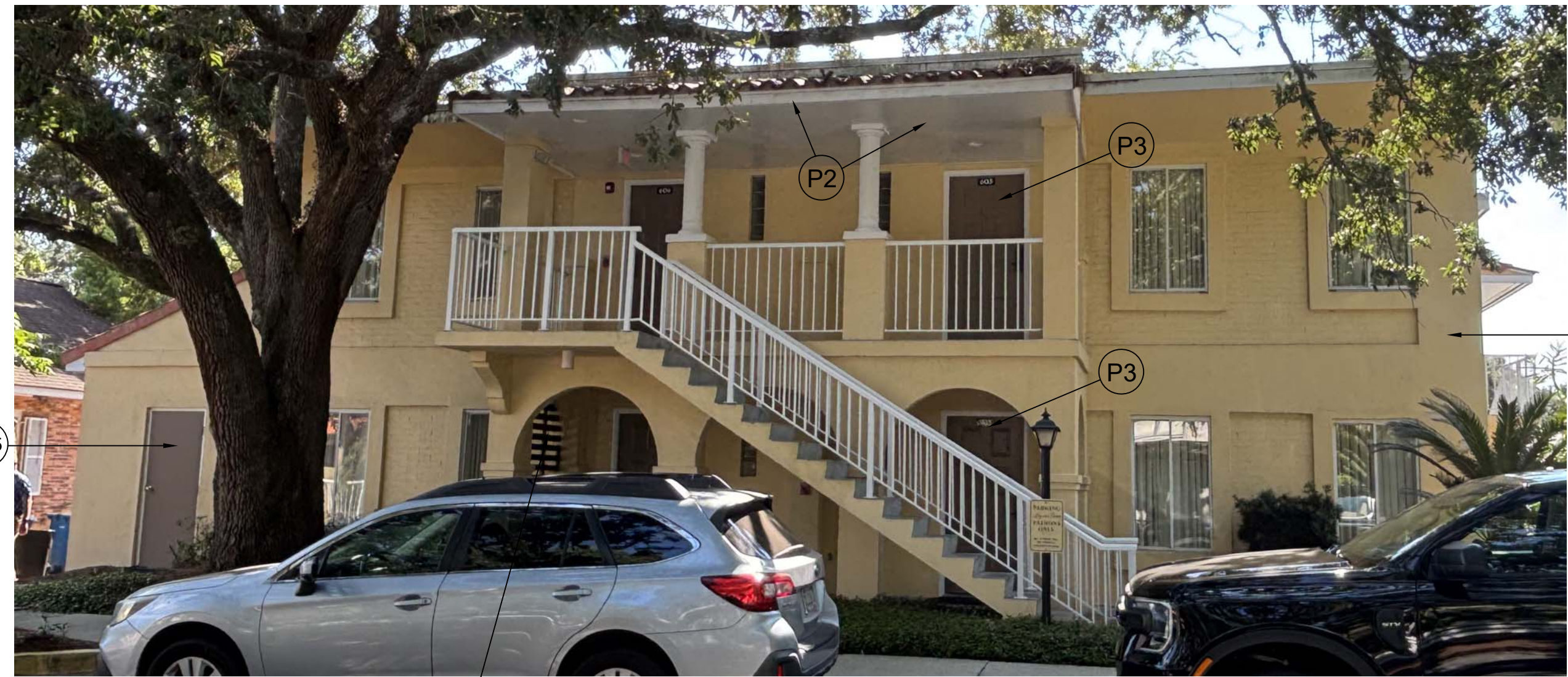
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201 ARNOLD ROAD
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2519	11-12-25
E1	

REPAIR SHEETROCK CEILING, AS
NEEDED, TYPICAL AT PORCHES



NORTHWEST ELEVATION



NEW PAINT AT WOOD LATTICE
PANEL,

NORTHEAST ELEVATION



SOUTHEAST ELEVATION

REMOVE EXISTING SEALANT AND
PROVIDE NEW SEALANT AT JOINT



1
F1

DETAIL

N.T.S.

SCOPE OUTLINE (OGLETHORPE HOUSE)

1. PREP & PAINT STUCCO, REPAIR ALL CRACKS, SP-1, SP-2 OR SR-1 VERIFY
2. PREP & PAINT ALL DOORS
3. PREP & PAINT ALL WOOD TRIM
4. PREP & PAINT PORCH CEILINGS
5. REMOVE SEALANT AT ALL WINDOWS & DOORS, RESEAL
6. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, RESEAL
7. PREP & PAINT FASCIA & SOFFIT

GENERAL NOTES

1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

OGLETHORPE HOUSE
FACADE PROJECT

The King and Prince
RESORT
201 ARNOLD ROAD
ST. SIMONS ISLAND, GEORGIA

2519	11-12-25
F1	



NORTHEAST ELEVATION



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NORTHWEST ELEVATION



SOUTHEAST ELEVATION

GENERAL NOTES

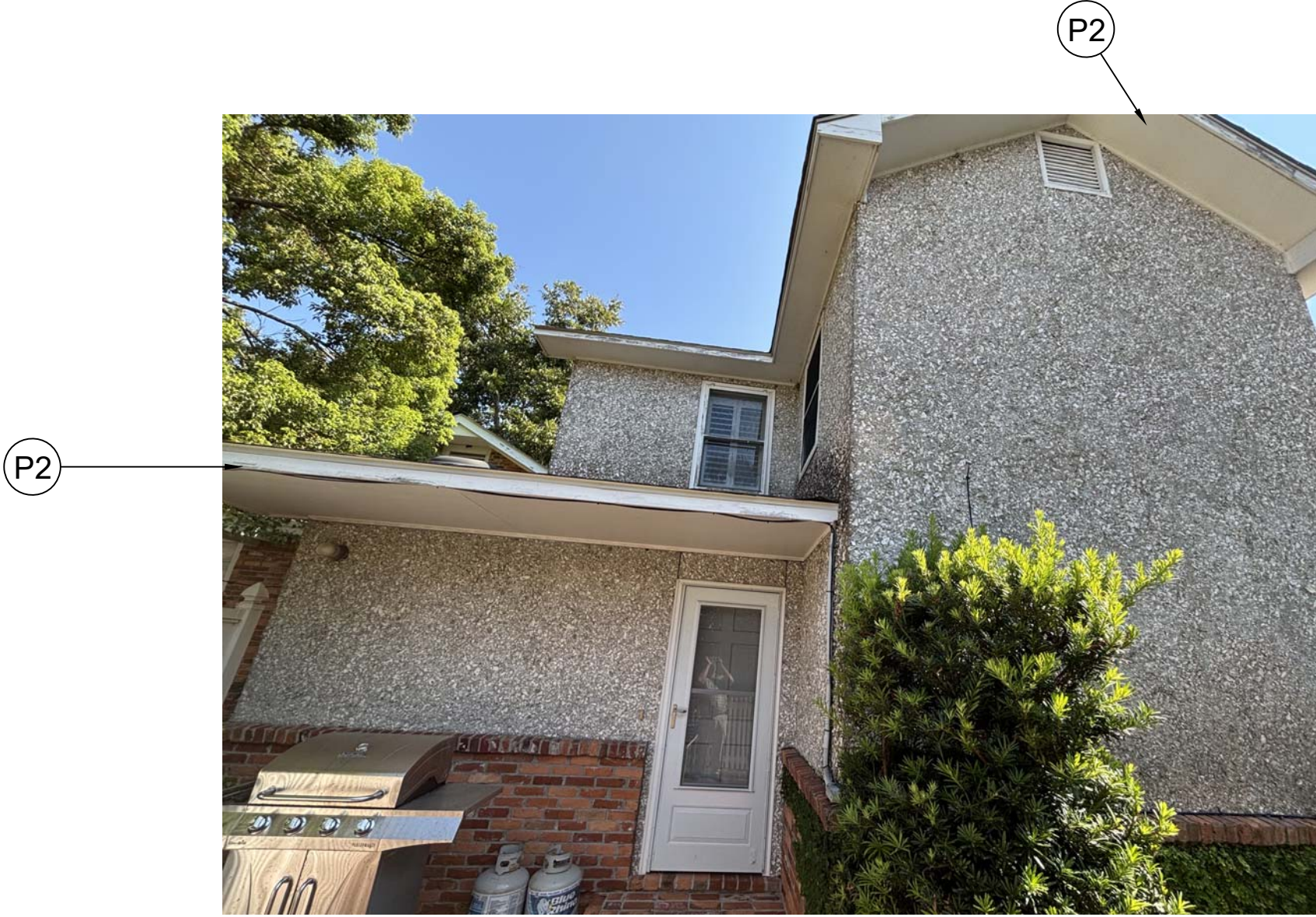
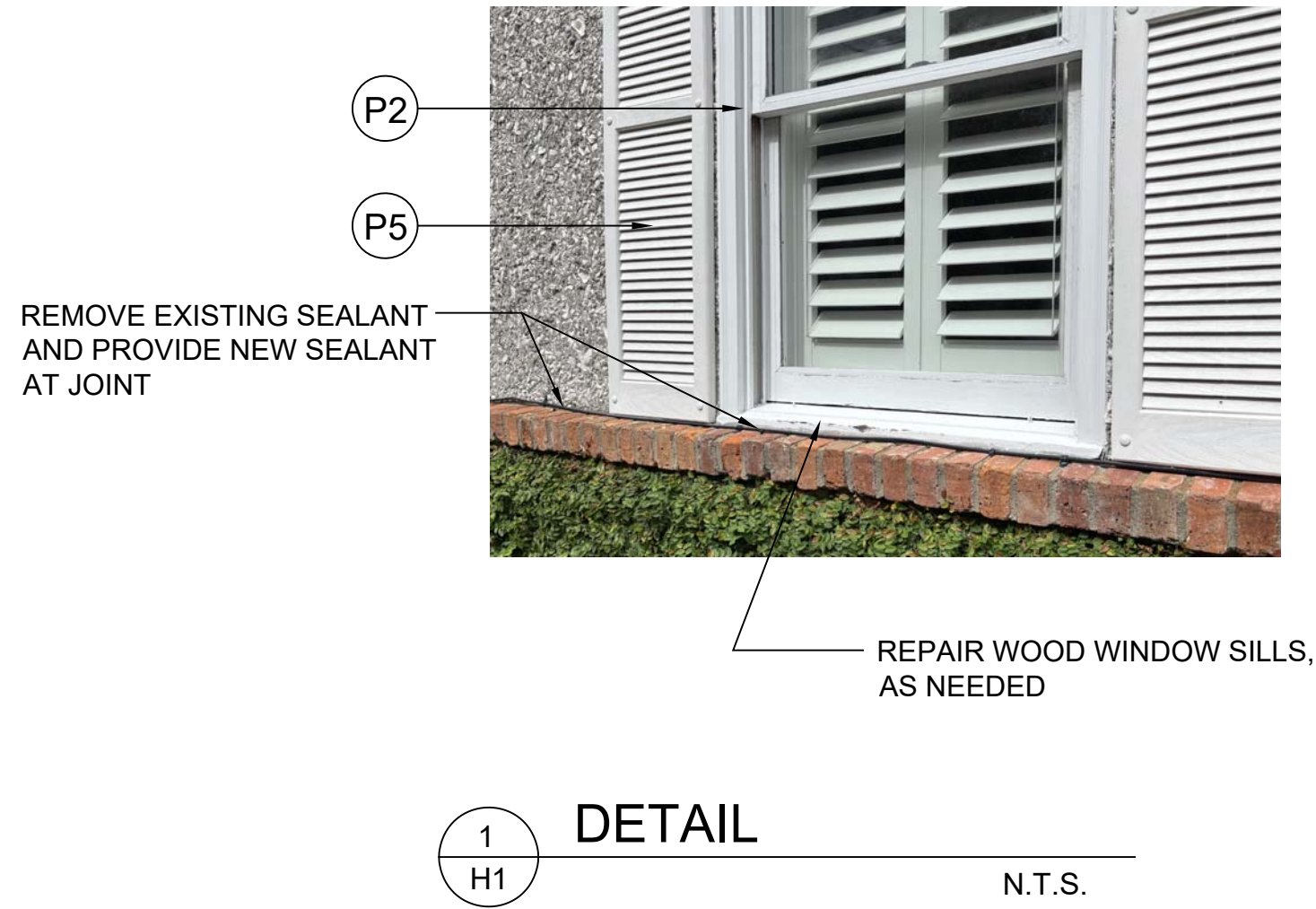
1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT

SCOPE OUTLINE (WEDDING COTTAGE)

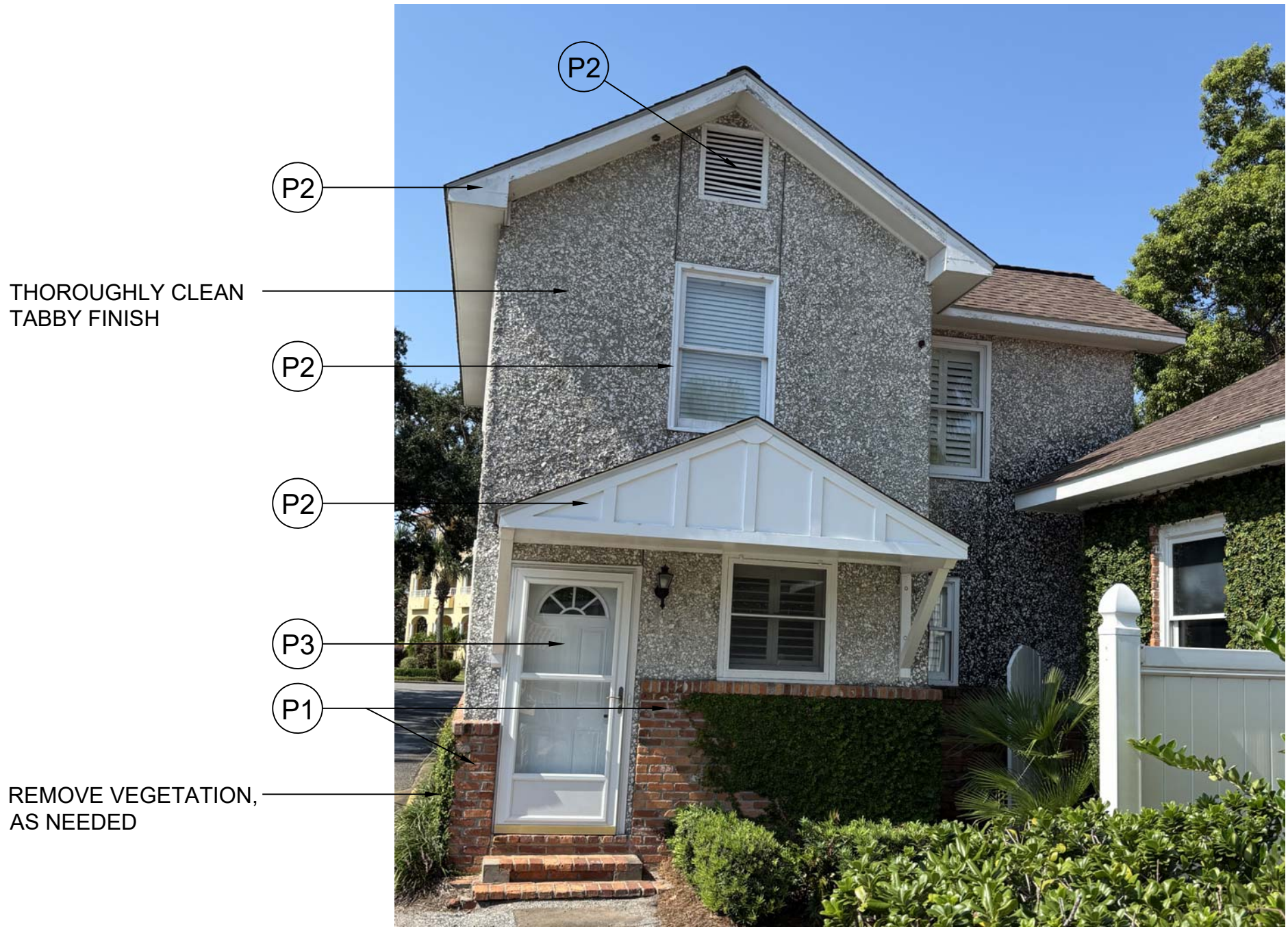
1. REMOVE VEGETATION ON BUILDING WALLS, PREP BRICK & TABBY FOR PAINT
2. PREP & PAINT HARDIE PANEL SIDING
3. PREP & REPAIR ROTTEN WINDOW SILLS & ROTTEN TRIM. USE ABATRON WOOD EPOX AND OR ABATRON LIQUIDWOOD. SAND FOR SEAMLESS TRANSITION. PRIME FOR NEW PAINT.
4. PREP / REPAIR STEEL LINTELS & PAINT
5. INSPECT AND REPAIR / REPOINT ANY DEGRADED MORTAR JOINTS
6. REMOVE SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1
7. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PROVIDE NEW SEALANT EJ-1 OR SL-1 VERIFY
8. PREP & PAINT ALL FASCIA & SOFFIT
9. PREP & PAINT PORCH CEILINGS
10. PREP & PAINT DOORS



SOUTHEAST ELEVATION



SOUTHWEST ELEVATION



NORTHEAST ELEVATION

- SCOPE OUTLINE (WYNN COTTAGE)**
1. REMOVE VEGETATION ON BUILDING WALLS, PREP BRICK & TABBY FOR PAINT
 2. PREP & REPAINT ROTTEN WINDOW SILLS & ROTTEN TRIM. USE ABATRON WOOD EPOX AND OR ABATRON LIQUIDWOOD. SAND FOR SEAMLESS TRANSITION. PRIME FOR NEW PAINT.
 3. REMOVE SEALANT AT ALL WINDOWS & DOORS. PROVIDE NEW SEALANT SL-1 OR SL-1 VERIFY
 4. REMOVE SEALANT AT ALL MATERIAL JUNCTIONS, PROVIDE NEW SEALANT EJ-1
 5. PREP & PAINT ALL FASCIA & SOFFIT
 6. PREP & PAINT PORCH CEILINGS
 7. PREP & PAINT DOORS
- GENERAL NOTES**
1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
 2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
 3. SEE SHEET AS1 FOR BUILDING LOCATION & BUILDING FOOTPRINT



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



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H1
DETAIL

N.T.S.

- SCOPE OUTLINE (TABBY HOUSE)**
1. PREP & PAINT ALUMINUM TRIM COIL AT FASCIA.
 2. PREP & PAINT STUCCO, REPAIR ALL CRACKS, SP-1, SP-2 OR SR-1 VERIFY
 3. PREP & PAINT ALL RAILING & HANDRAILS.
 4. PREP & PAINT COLUMNS.
 5. REMOVE EXISTING SEALANT AT ALL WINDOWS & DOORS, PROVIDE NEW SEALANT SL-1
 6. REPLACE DAMAGED GUTTERS.
 7. INSPECT ROOF TILES & REPLACE BROKEN TILES.
 8. PREP & PAINT PORCH CEILINGS.
 9. PREP & PAINT DOORS.
- GENERAL NOTES**
1. CONTRACTOR TO VISIT ALL BUILDINGS AND VERIFY ALL CONDITIONS
 2. SEE SHEET G1 FOR SPECIFICATIONS AND PAINT SCHEDULE
 3. SEE SHEET A51 FOR BUILDING LOCATION & BUILDING FOOTPRINT



SOUTHWEST ELEVATION

**TABBY HOUSE
FACADE PROJECT**