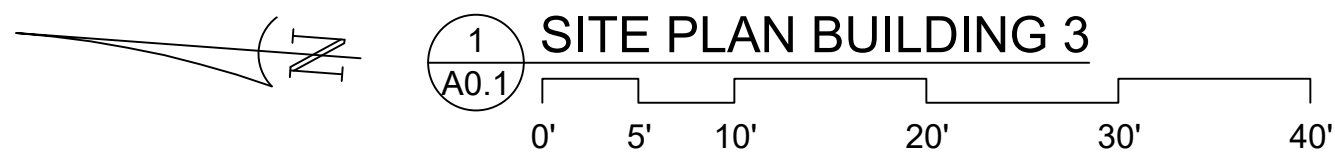




VICINITY MAP N.T.S.



NOTES:

SEE PRELIMINARY DATED 12/20/17 FOR BOUNDARY DATA AND LOT CONFIGURATION.

FINISHED SLAB ELEVATIONS ARE BASED ON TOP OF PAVEMENT ELEVATIONS (T.P.) AND TOP OF CURB (T.C.) AS SHOWN ON THE CIVIL DRAINAGE PLAN DATED 4/30/20. **VERIFY.**

+ 1.00 INDICATES FINISHED GRADE ELEVATIONS

GENERAL NOTES:

- ZONING:**
THIS PROJECT IS ZONED PD.

PROJECT DESCRIPTION: PART OF A 54 UNIT ROWHOUSE DWELLING AND ONE FAMILY ATTACHED DWELLING PROJECT REGULATED BY THE RED BARN DEVELOPMENT TEXT AS REVISED JAN. 30th 2009.
- SURVEY DATA TAKEN FROM PRELIMINARY PLAT BY SHUPE SURVEYING COMPANY, P.C., 3837 DARIEN HIGHWAY, BRUNSWICK, GA 31525. DATED 12/20/17.
- ACCORDING TO F.I.R.M. MAP NO. 13127C, PANEL 0234H & 0253H, DATED 01/05/18, INDICATES THIS PROPERTY SHOWN ON THIS PLAT LIES WITHIN ZONE 'X'(UNSHADED), WHICH IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
- TO PREVENT CONFLICTS, CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES IN CONSTRUCTION AREAS LOCATED PRIOR TO BEGINNING CONSTRUCTION AND EXERCISE EXTREME CAUTION WHEN DIGGING IN THESE AREAS.
- ALL COMMON AREA WITHIN THE DEVELOPMENT SHALL REMAIN PRIVATE AND BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- BUILDING HEIGHT:** MAXIMUM ALLOWED = 35 FT. PROPOSED BUILDING 3 = APPROXIMATELY 33' - 6"
- OWNER / DEVELOPER:**
FIFTY OAKS GROUP, LLC
- ARCHITECT:**
USSERY - RULE ARCHITECTS, P.C.
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ST. SIMONS ISLAND, GA 31522
(912) 638-6688

CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

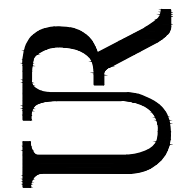
- APPLICABLE CODES:**
 - 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - NFPA 70
 - NEC 2017
- WIND LOADING:**
 - DESIGN WIND SPEED: 130 MPH (3-SEC GUST) *IRC R301.2(5)A*
 - EXPOSURE CATEGORY: C *IRC R301.2.1, 4(2)*
 - WINDBORNE DEBRIS REGION: WITHIN (1) MILE OF COASTAL MEAN HIGH WATER
- PROTECTION OF OPENINGS:**
 - IMPACT RESISTANT EXTERIOR GLAZING REQUIRED IN WIND BORNE DEBRIS REGIONS
- TOWNHOUSE REQUIREMENTS:**
 - COMMON WALL SHALL BE 2-HOUR RATED, W/ NO PLUMBING OR MECHANICAL PENETRATIONS. *IRC R302.2*
- MISC. CODE REQUIREMENTS:**
 - A. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF APPLICABLE CODES
 - B. GARAGE CEILING SHALL HAVE 5/8" TYPE-X GYPBOARD *IRC R302.6*
 - C. GARAGE SEPARATION FROM THE RESIDENCE SHALL BE NOT LESS THAN 5/8" GYPBOARD
 - D. EMERGENCY ESCAPE & RESCUE OPENINGS REQUIRED IN ALL SLEEPING ROOMS. NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ/FT. MAXIMUM SILL HEIGHT OF 44 IN.

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M.1	FIRST FLOOR MECHANICAL PLAN
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E.1	FIRST FLOOR ELECTRICAL PLAN
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I.T1	TRIM PROFILES



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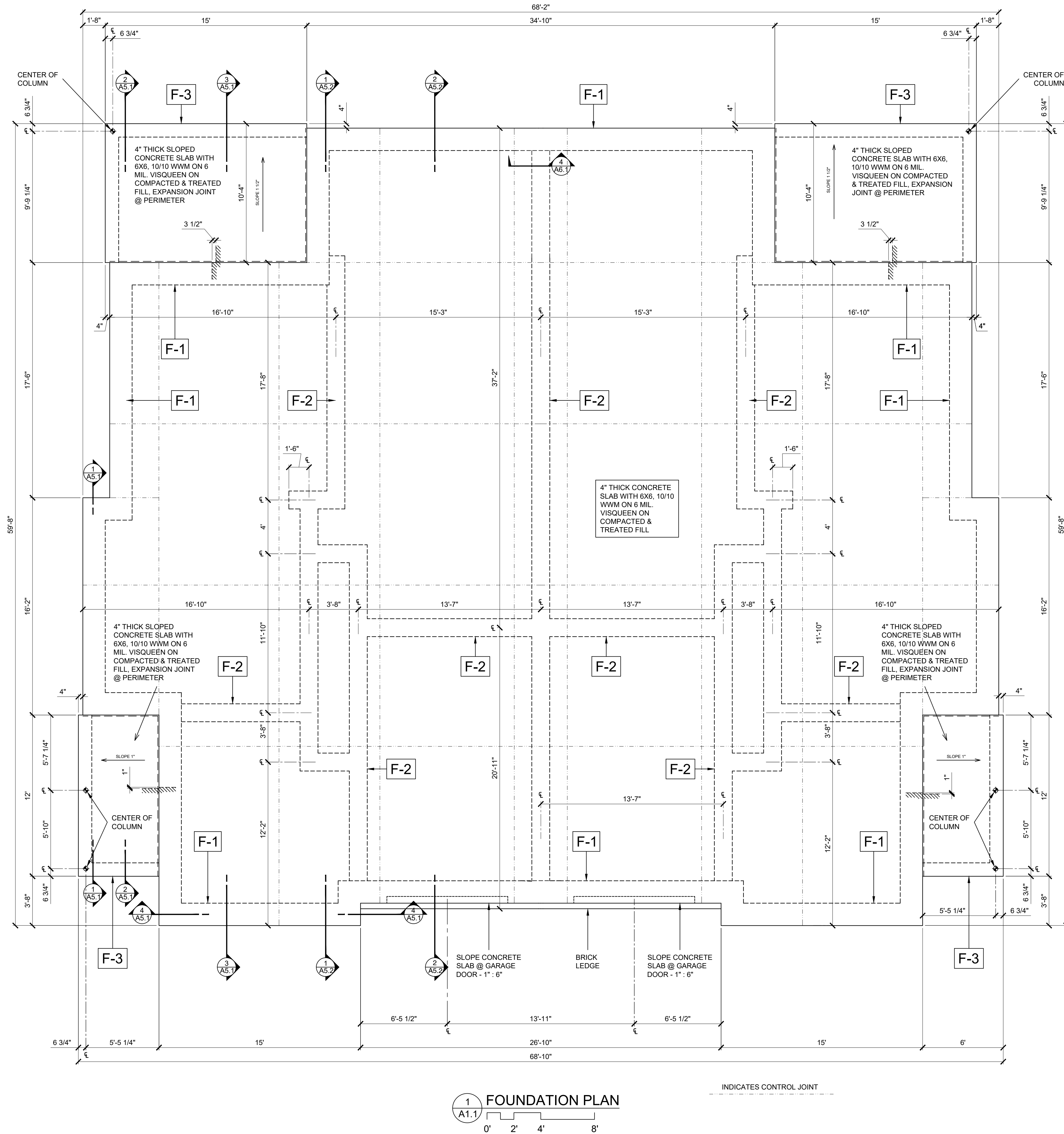


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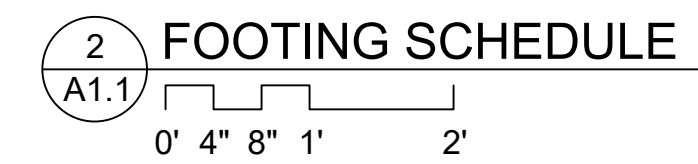
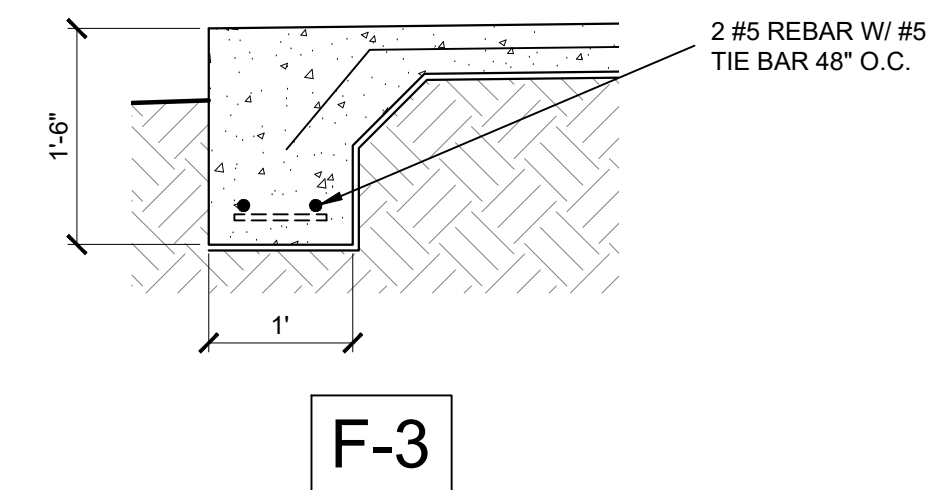
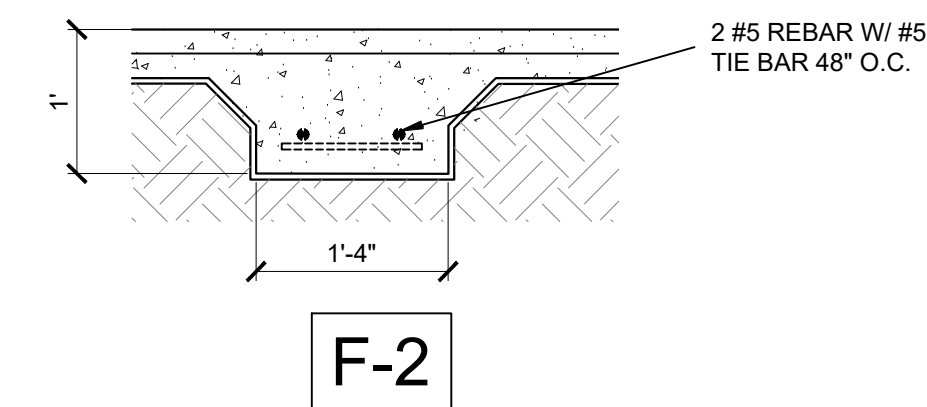
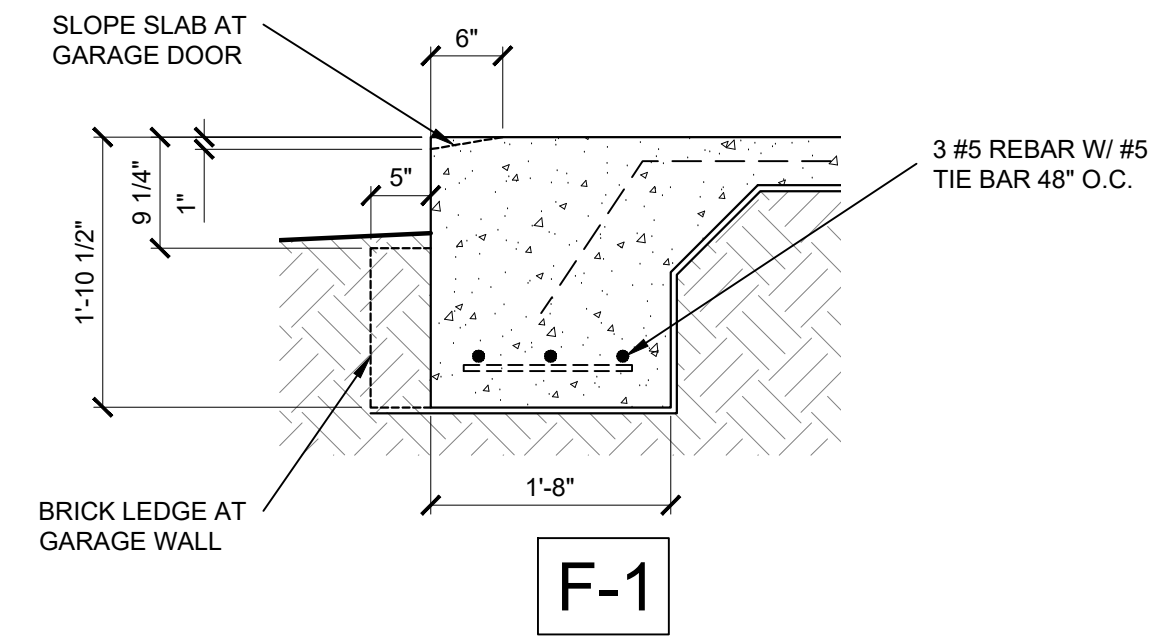
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A0.1



- CONCRETE AND REINFORCING NOTES**
1. REINFORCEMENT SHALL BE ASTM A-615 GRADE 60 AND A-305, W.W.M. SHALL BE ASTM A-185.
 2. UNLESS OTHERWISE NOTED MINIMUM COVERAGE FOR REINFORCING SHALL BE AS FOLLOWS: FOOTINGS & THICKENED SLABS - 3", SLABS - 2".
 3. SPLICES IN REINFORCING SHALL BE AS FOLLOWS: W.W.M. - 6", TEMPERATURE REINFORCEMENT - 12", ALL OTHER REINFORCEMENT - 4/8 BAR DIAMETER.
 4. PROVIDE 1/2" REMOLDED EXPANSION JOINT MATERIAL WHERE SLAB ON GRADE IS POURED AROUND COLUMNS AND AGAINST WALLS.
 5. CONCRETE SHALL BE FC' = 3,000 PSI AT 28 DAYS.
- GENERAL NOTES**
1. COORDINATE LOCATION OF NATURAL GAS LINE BELOW SLAB FOR FIREPLACE, STOVE, AND GRILL CONNECTIONS.
 2. FINISH SLAB AT GARAGE SHALL BE 8" MINIMUM ABOVE FINISH GRADE. VERIFY FINISH GRADES AT BUILDING LOCATIONS PER SITE CONDITIONS.
 3. PROVIDE TERMITE TREATMENT UNDER ALL CONCRETE SLABS & FOOTINGS

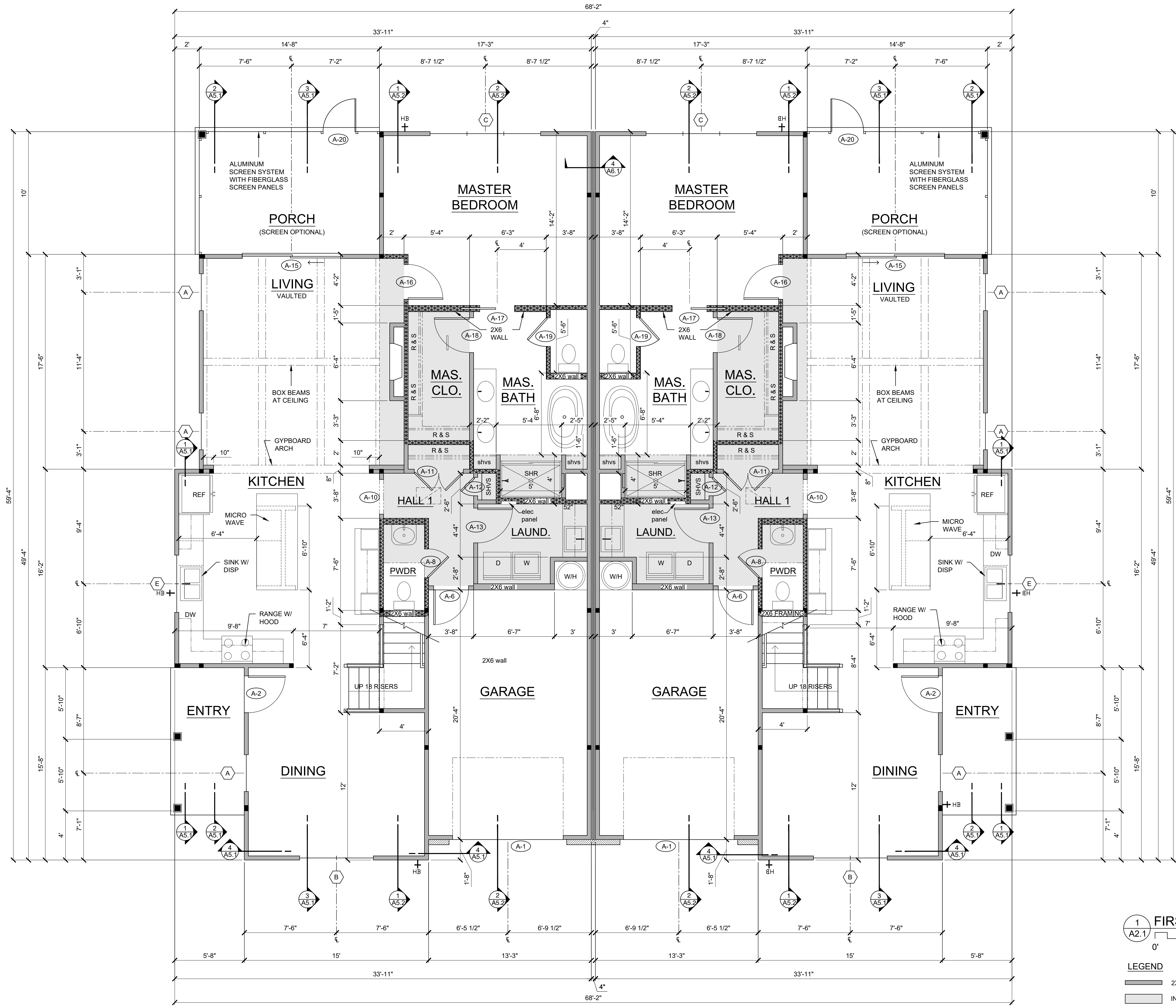


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A1.1



1 FIRST FLOOR PLAN
A2.1

- LEGEND
- 2X4 FRAMING STUD WALL, UNLESS NOTED OTHERWISE
 - INDICATES DROP SOFFIT CEILING AT 8'-1" FRAME
 - INDICATES SOUND INSULATION IN WALL
 - INDICATES BEAM BEARING POINT; PROVIDE POST CONTINUOUS TO BOTTOM OF BEAM SEE FRAMING PLANS AND SECTIONS

UNIT - A
119

UNIT - A
121

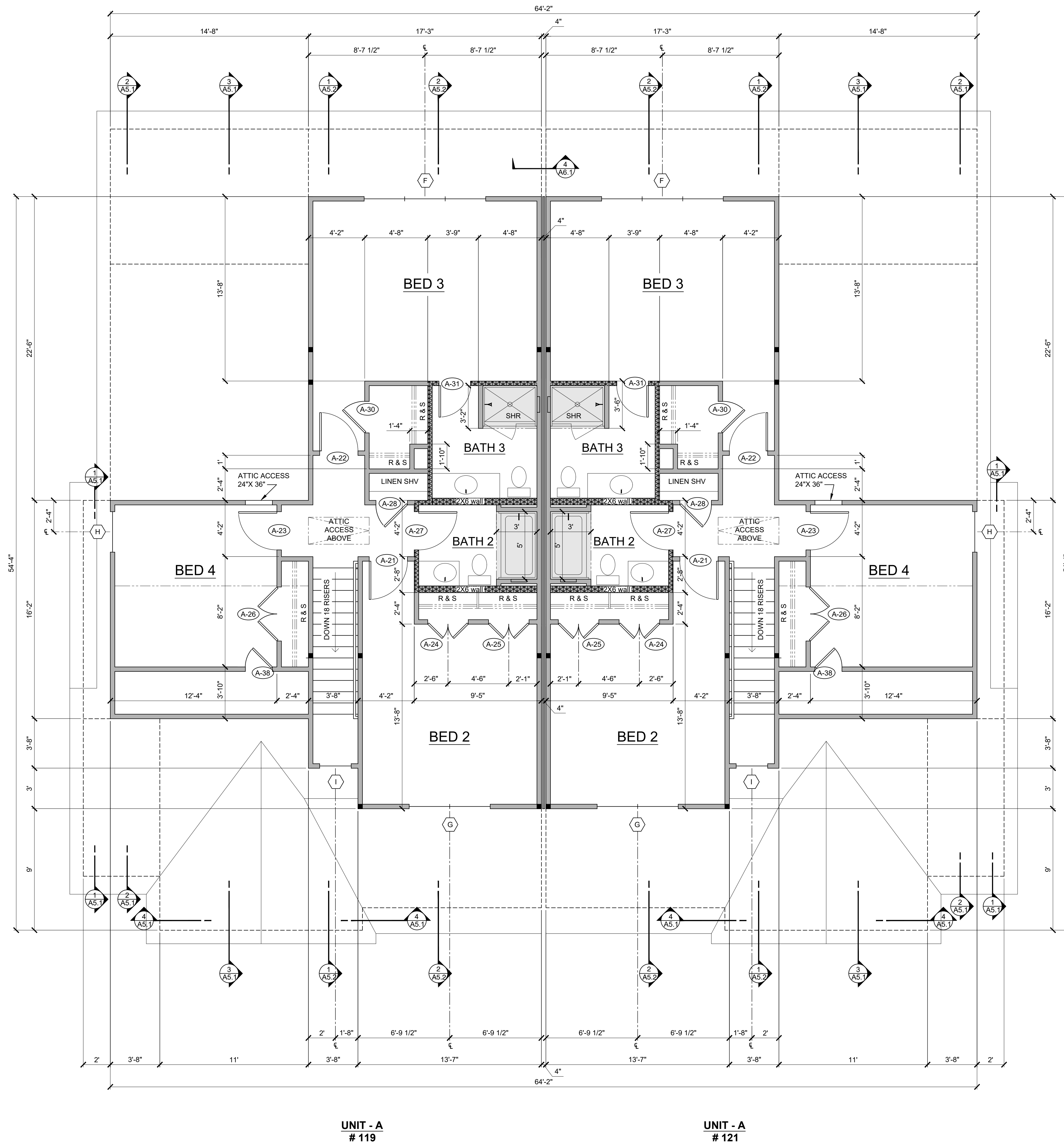


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A2.1



1 SECOND FLOOR PLAN
0' 2' 4' 8'

- LEGEND
- 2X4 FRAMING STUD WALL, UNLESS NOTED OTHERWISE
 - INDICATES DROP SOFFIT CEILING AT 8'-1" FRAME
 - INDICATES SOUND INSULATION IN WALL



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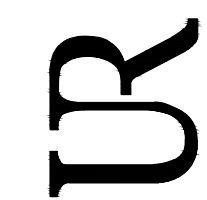
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A2.2



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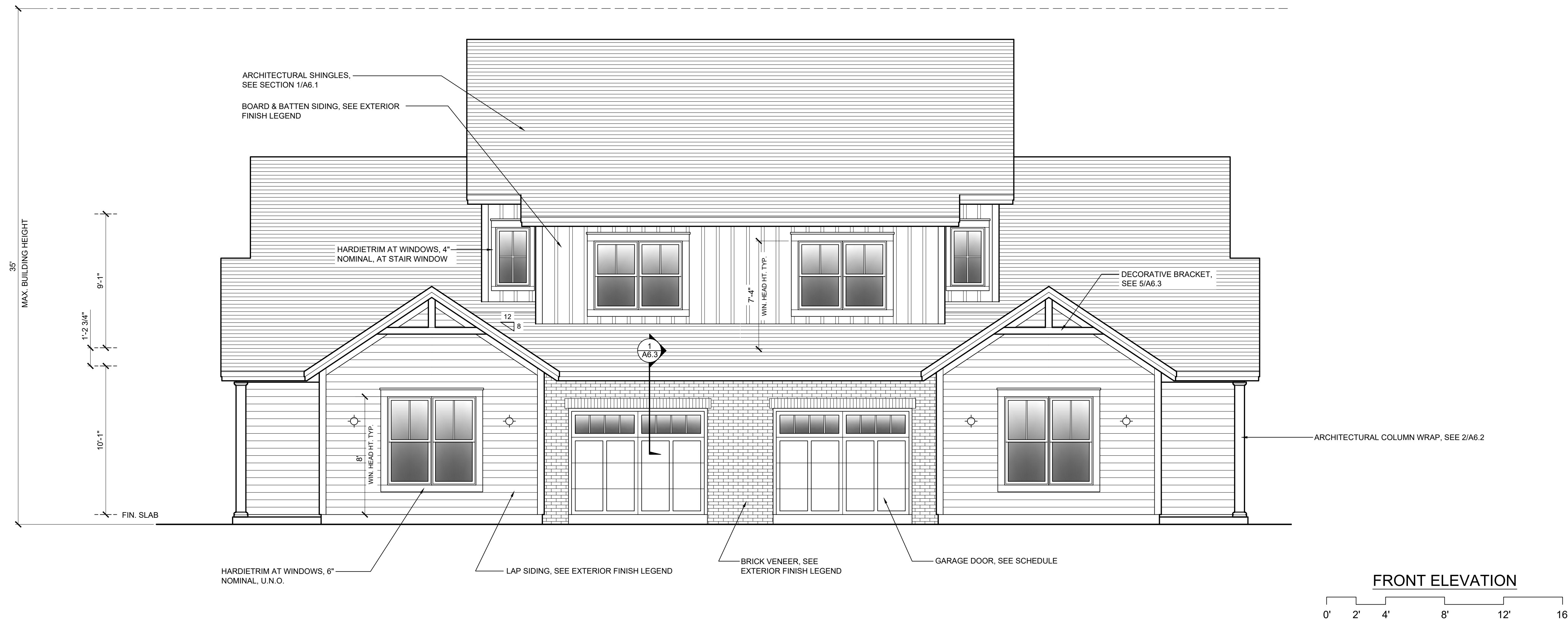


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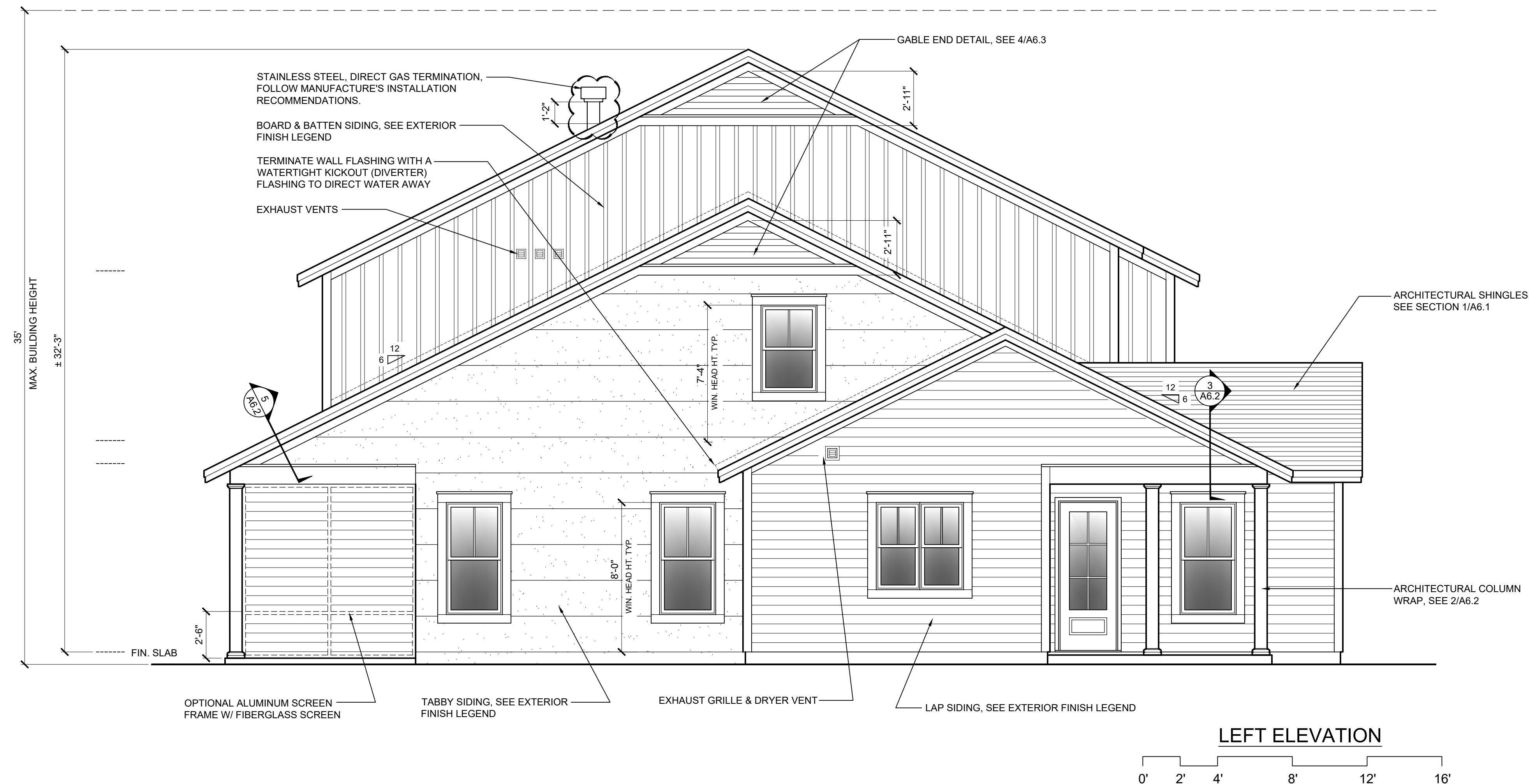
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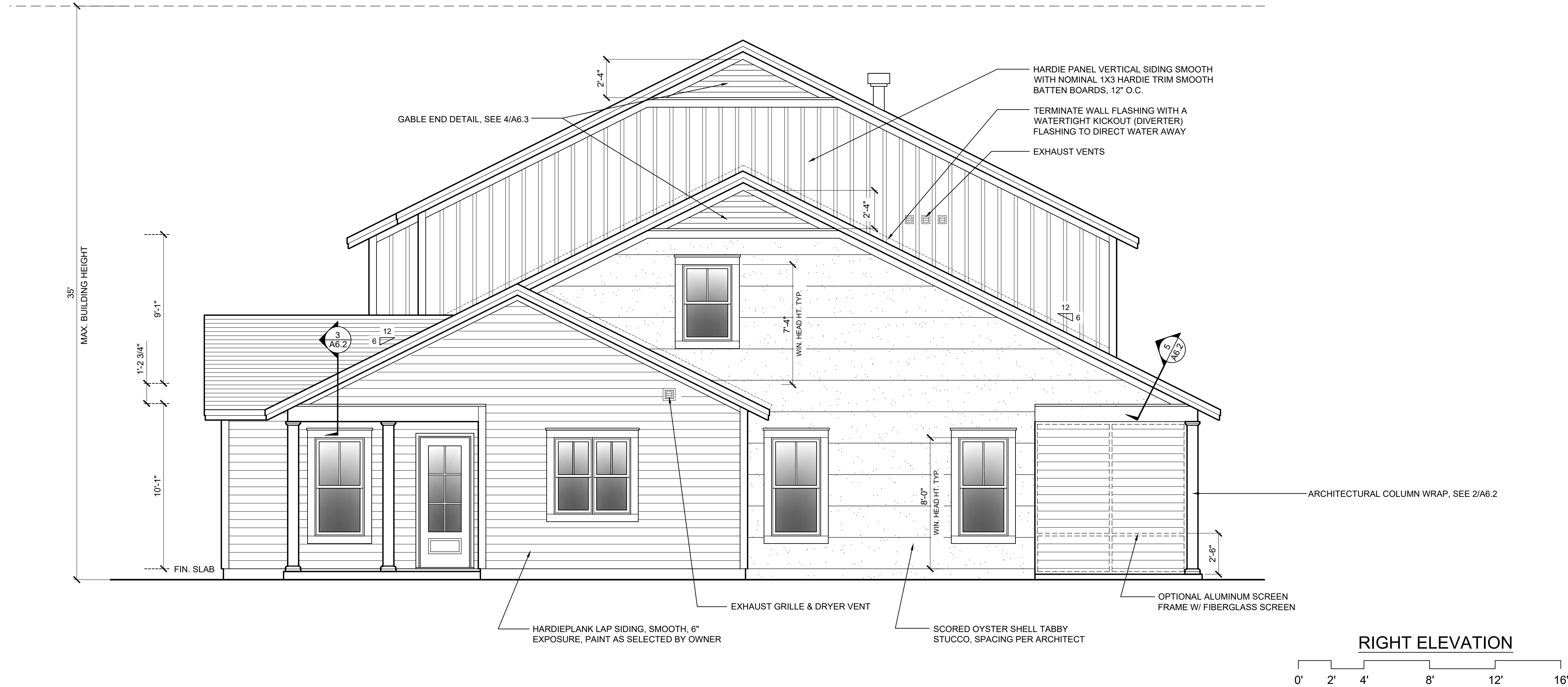
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A3.1

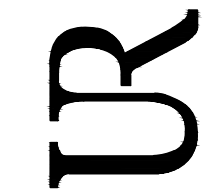


EXTERIOR FINISH LEGEND			
	2 1/2" X 3/4" 'HARDIETRIM' BOARDS - SMOOTH BATTEN BOARDS, 12" O.C. install per mfg. recommendations, SEE QRT CODE		
BOARD & BATTEN SIDING		HARDIE PANEL QRT CODE	HARDIE TRIM - BATTENS QRT CODE
	HZ10 'HARDIEPLANK' LAP SIDING, 6" EXPOSURE, SMOOTH FINISH, INSTALL PER MFG. RECOMMENDATIONS, SEE QRT CODE		
LAP SIDING SIDING		HARDIE LAP QRT CODE	
	OYSTER SHELL TABBY FINISH, TWO COAT SYSTEM. V-GROOVE SCORE LINES, ± 24" O.C. SPACED EQUALLY, FIELD VERIFY W/ ARCHITECT		
TABBY SIDING		CORNER BOARD DETAIL AT BOARD & BATTEN	
	BRICK VENEER, AS SELECTED W/ 3/4" MORTAR JOINT. MORTAR COLOR AS SELECTED		
BRICK VENEER		CORNER BOARD DETAIL AT LAP SIDING	





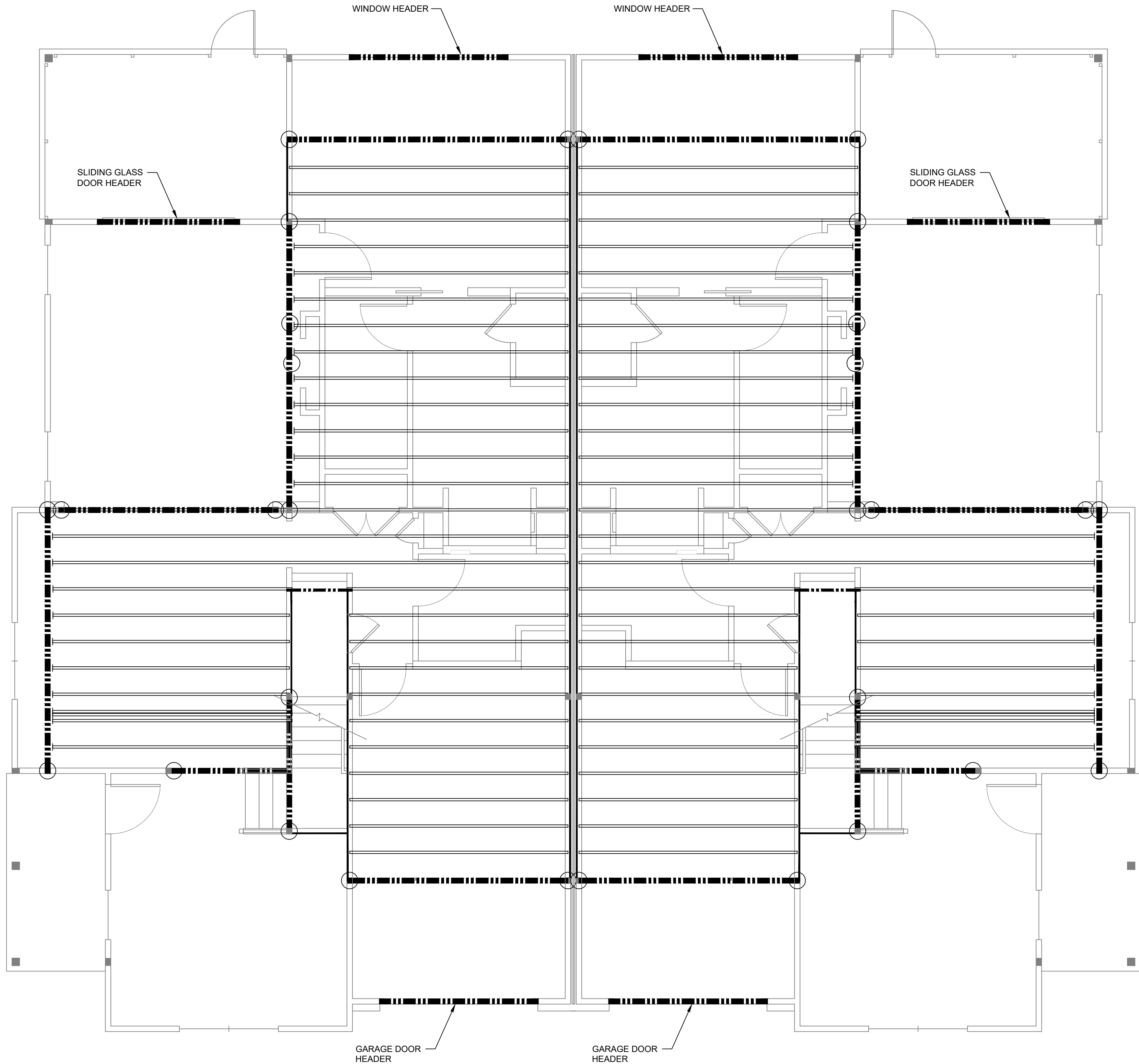
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A3.2



UNIT - A
119

UNIT - A
121

- INDICATES I-JOIST
- INDICATES LVL BEAM
- INDICATES RIM BOARD
- CIRCLE INDICATES BEAM BEARING POINT OR POINT LOAD FROM ABOVE

1
A4.1 FLOOR FRAMING PLAN
0' 2' 4' 8'

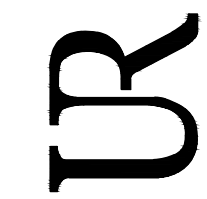
FLOOR FRAMING NOTES

- ALL FLOOR JOISTS SHALL BE 14" I-JOIST 19.2" O.C. UNLESS OTHERWISE NOTED.
- FLOOR BEAMS TO BE 14" LVL BEAMS AS SIZED BY MANUFACTURER.
- INSTALL FLOOR SYSTEM IN ACCORDANCE WITH MANUFACTURERS APPROVED SHOP DRAWINGS.
- ALL LVL BEAMS SHALL BE INLINE WITH THE FLOOR SYSTEM UNLESS OTHERWISE NOTED.
- MINIMUM FLOOR SYSTEM DESIGN LOADS:
D.L. = 15LB/SQFT
L.L. = 40LB/SQFT
T.L. = 55 LB/SQFT

MAX ALLOWED DEFLECTION: L/360



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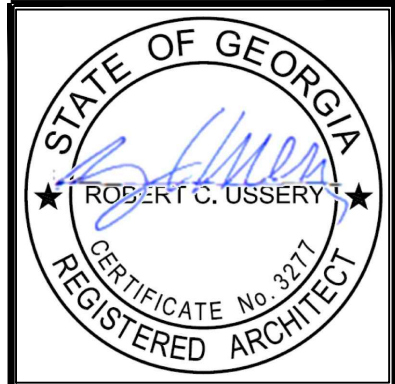


FIFTY OAKS - BUILDING 3
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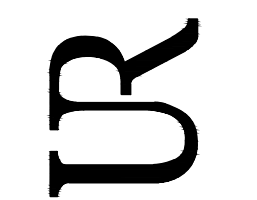
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A4.1

0' 2' 4' 8' 12' 16' 20'



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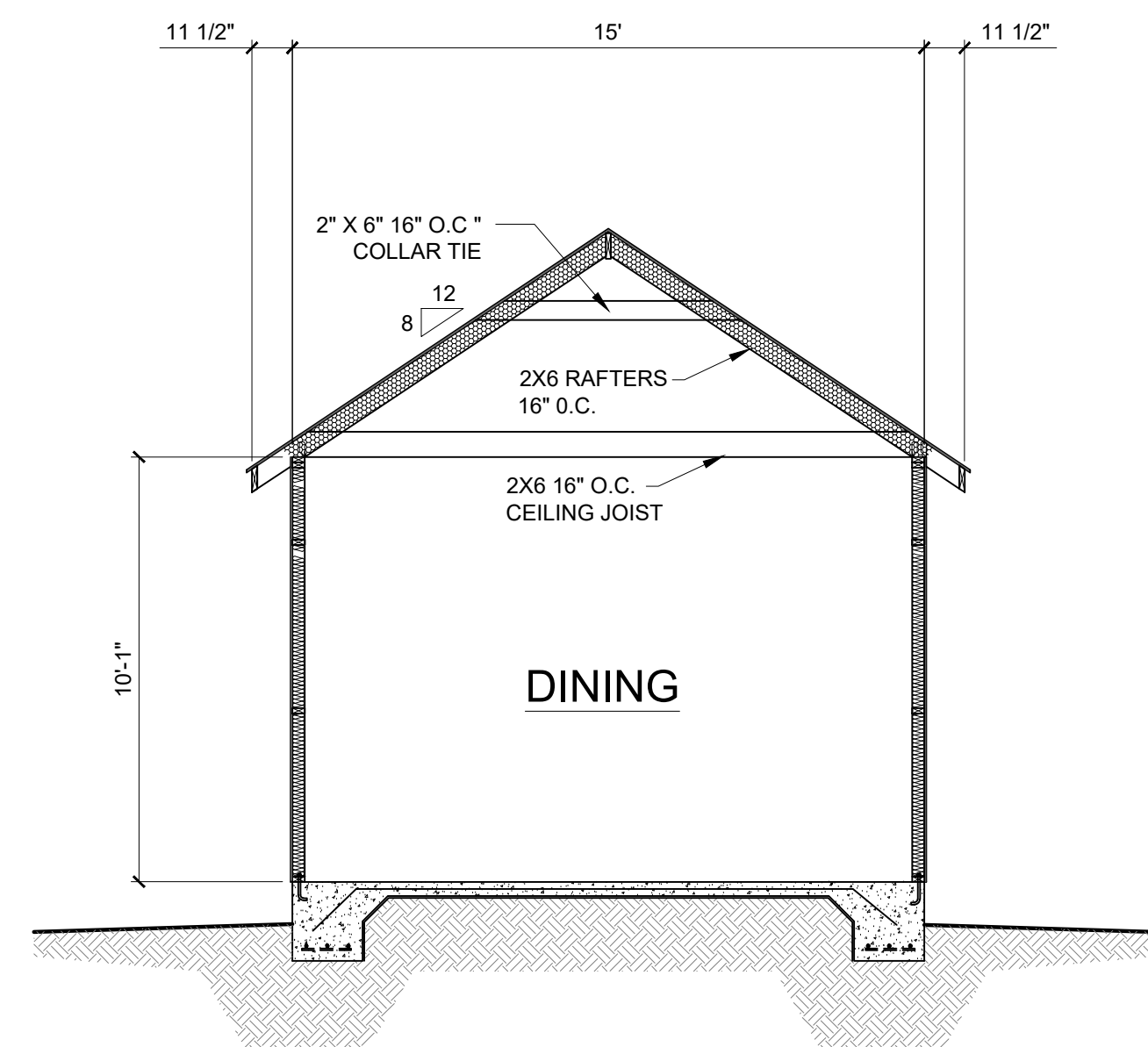


FIFTY OAKS - Framing Sections
South Harrington Road
St. Simons Island, Georgia

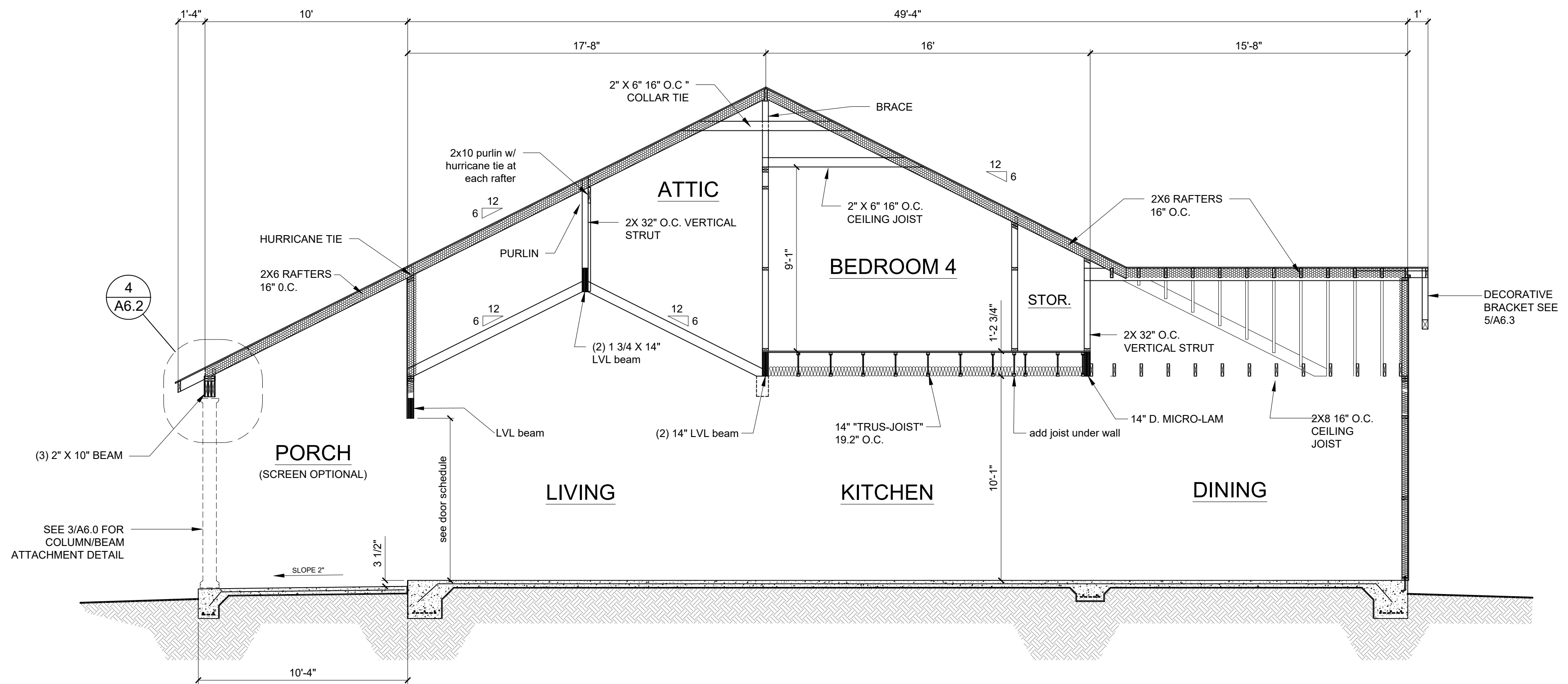
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A5.1



4
A5.1
FRAMING SECTION - UNIT A



3
A5.1
FRAMING SECTION - UNIT A

FRAMING NOTES:

WALLS: STUDS: TO BE 2X4'S 16" O.C. OR 2X6'S 16" O.C. AS NOTED ON FLOOR PLAN

FLOOR FRAME: 14" TRUSS JOIST 19.2" O.C. SEE MANUFACTURER'S SHOP DRAWINGS FOR ADDITIONAL INFORMATION. OTHER FLOOR FRAMING AS NOTED ON FRAMING PLAN.

ROOF FRAME: WOOD FRAMING 16" O.C. DESIGN INTENT ARE INDICATED ON FRAMING SECTIONS.

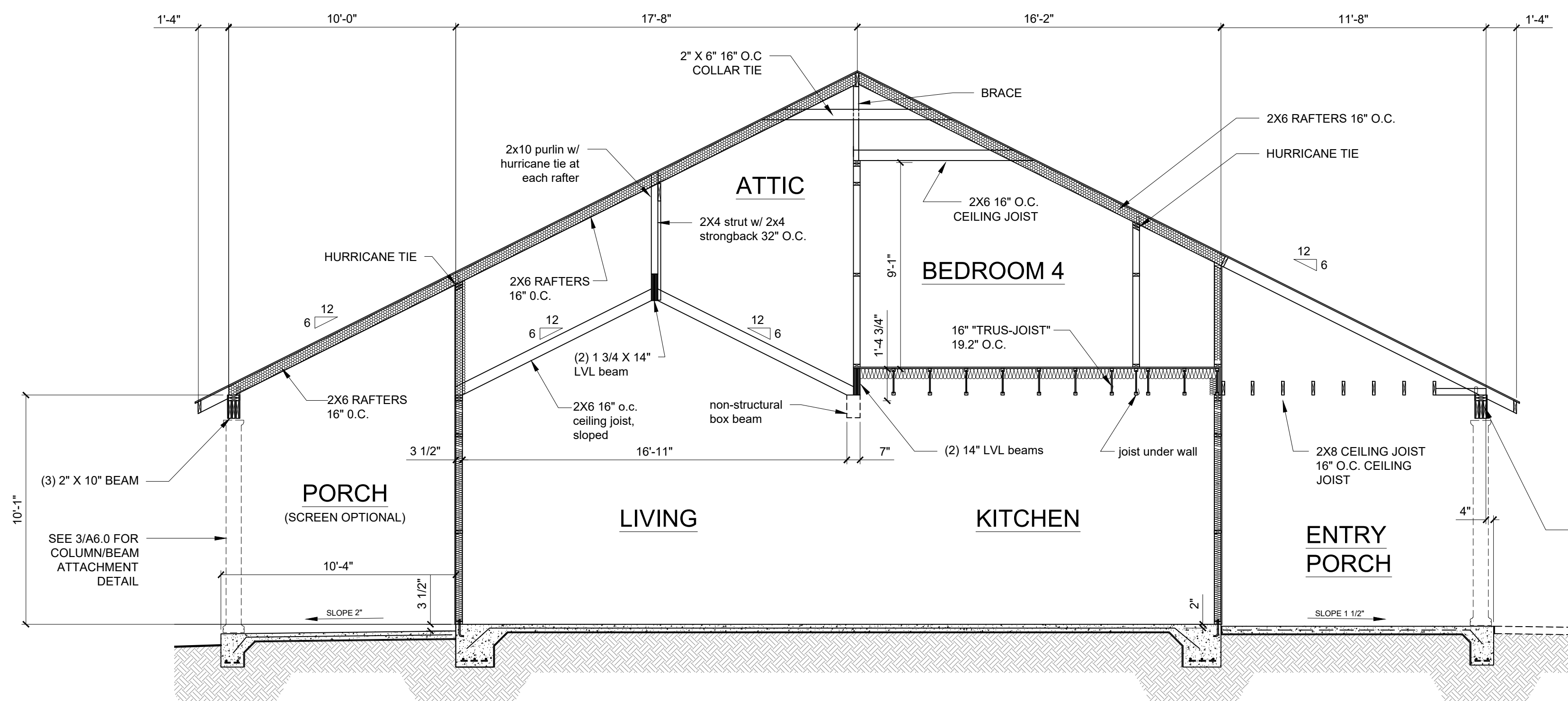
HEADER BEAMS: ALL WINDOW AND DOOR HEADERS OVER 6'-0" TO BE "MICRO-LAM" BEAMS PER MANUFACTURER'S SPECIFICATIONS. HEADERS 6'-0" TO 4'-0" TO MIN (2) 2X12 OTHER HEADERS TO BE MIN (2) 2X10 UNLESS OTHERWISE SPECIFIED.

HURRICANE TIES: SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.

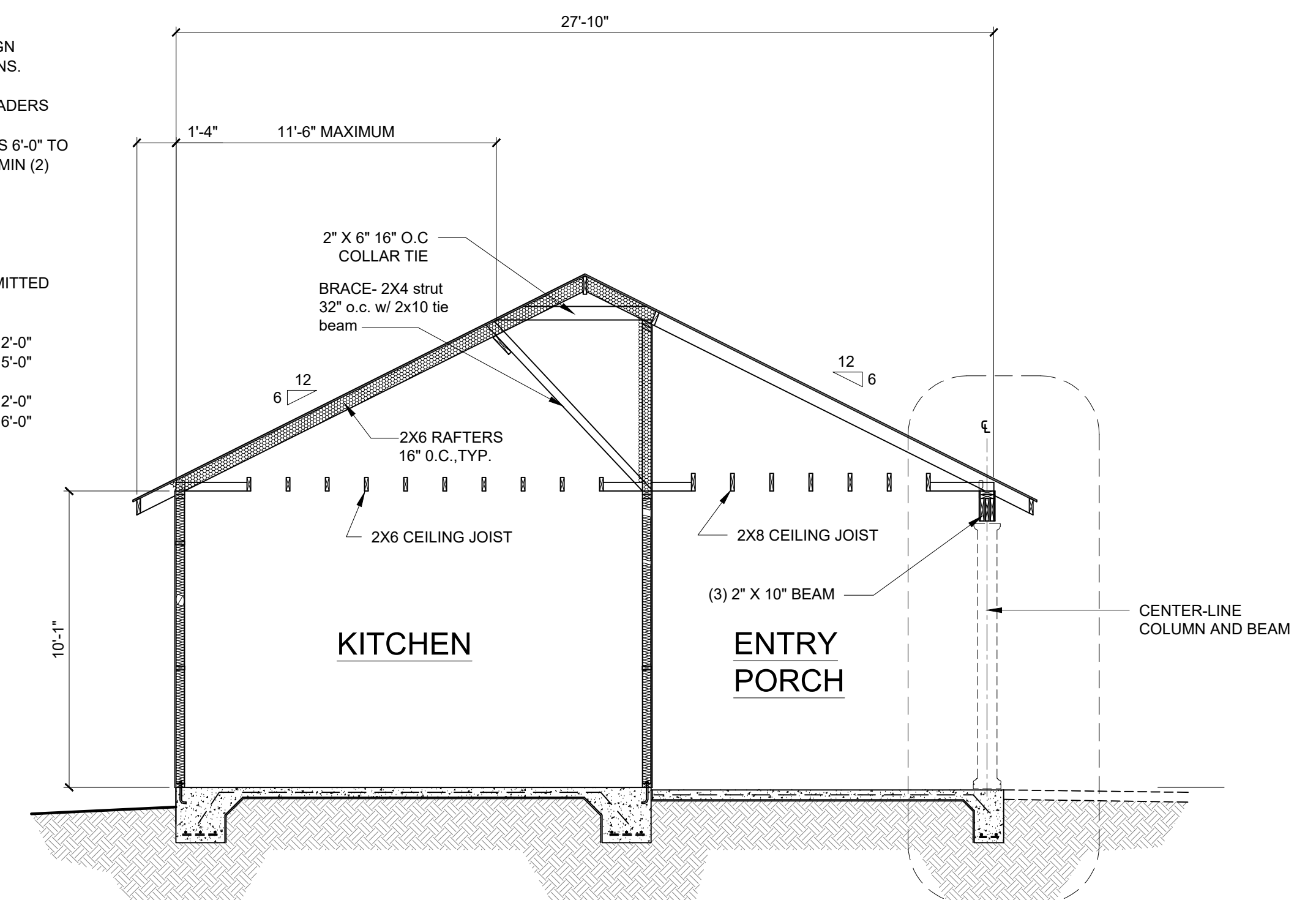
SHOP DRAWINGS: FLOOR FRAME TO BE SUBMITTED TO ARCHITECT FOR APPROVAL

MAX RAFTER SPAN: 2X6 16" O.C. - 12'-0"
2X8 16" O.C. - 15'-0"

MAX CEILING JOIST SPAN: 2X6 16" O.C. - 12'-0"
2X8 16" O.C. - 16'-0"

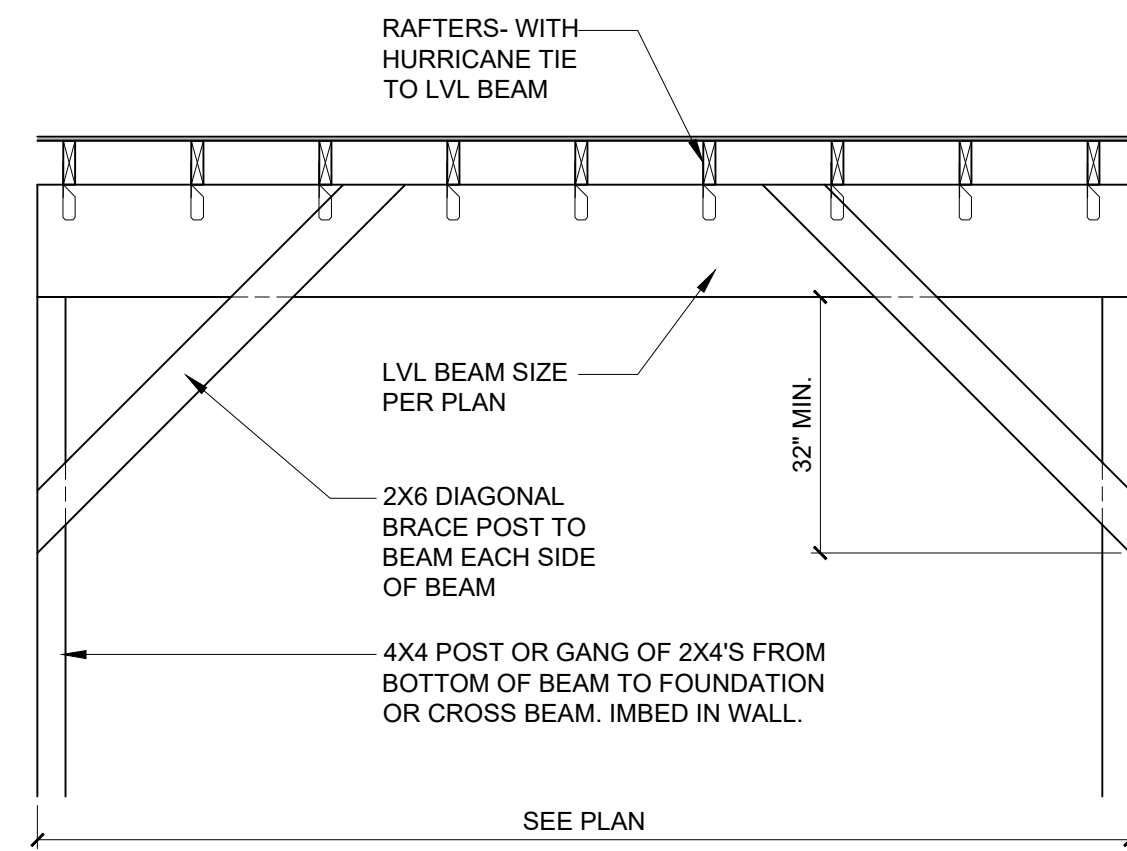


2
A5.1
FRAMING SECTION - UNIT A

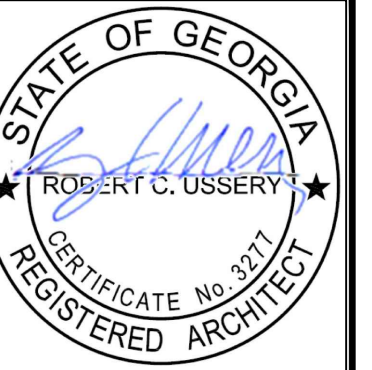
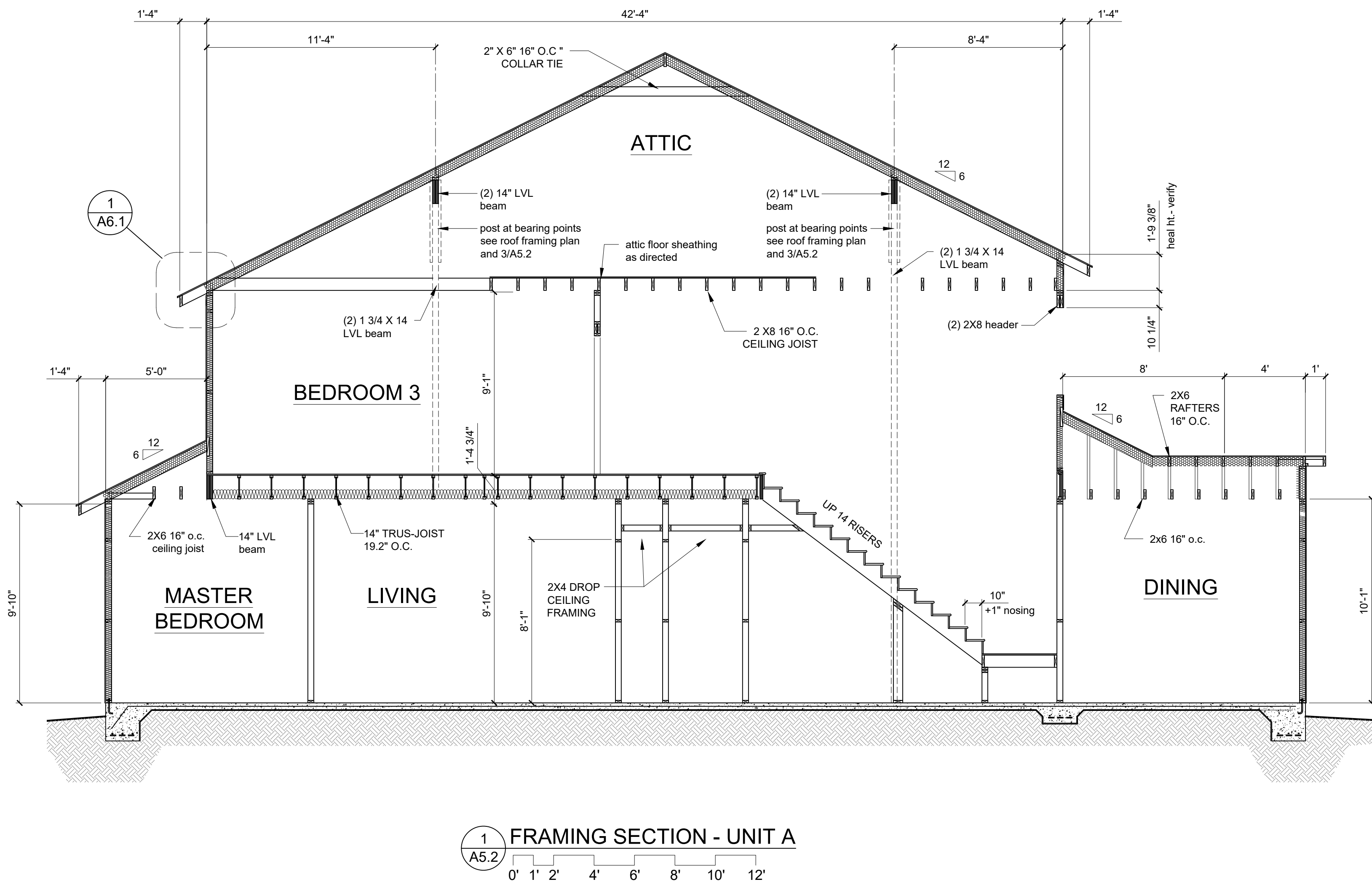
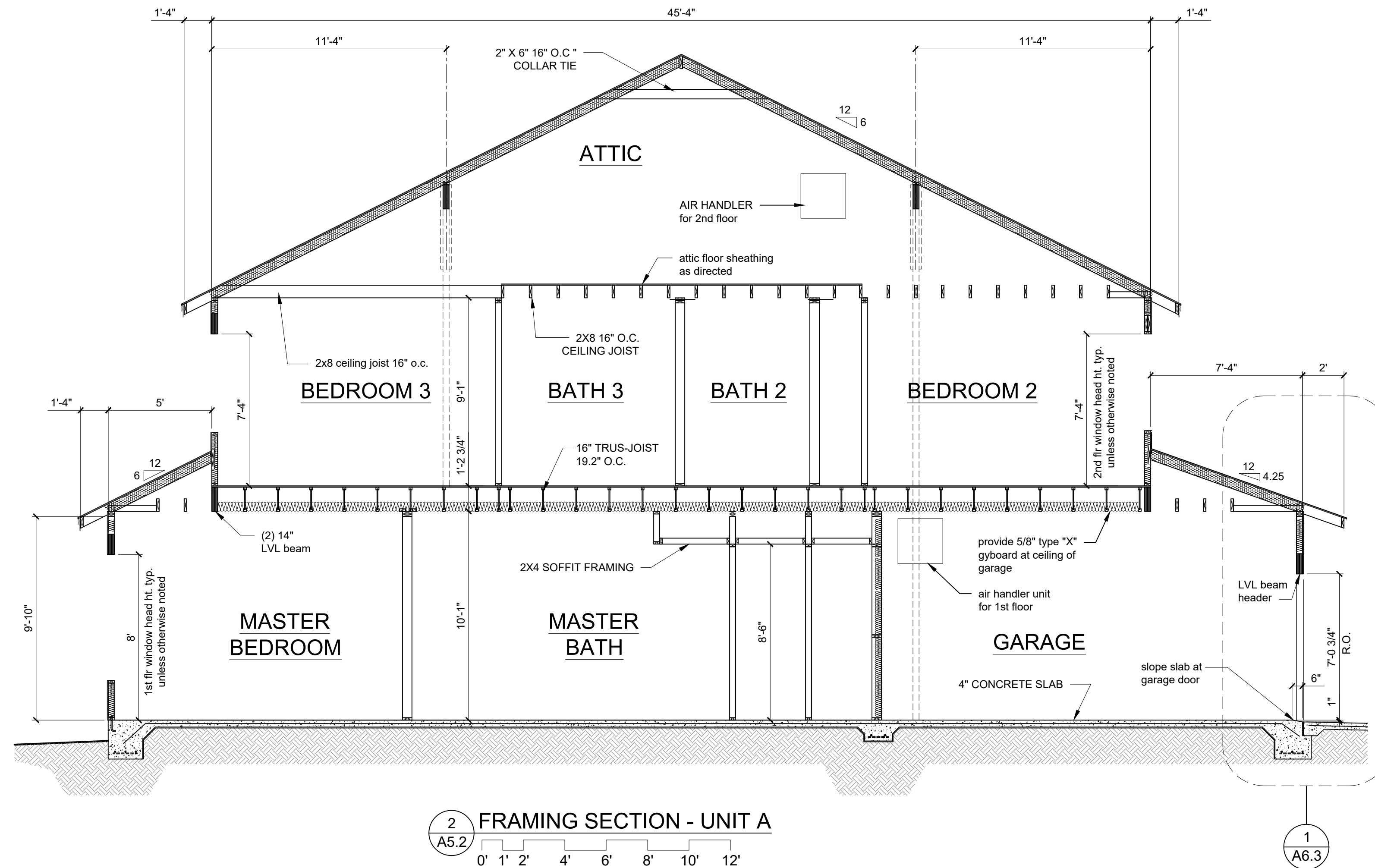


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A5.1
FRAMING SECTION - UNIT A

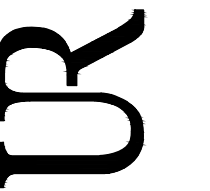
2
A6.2
BEAM-COLUMN CONNECTION



3 ATTIC BEAM DETAIL
A5.2 not to scale



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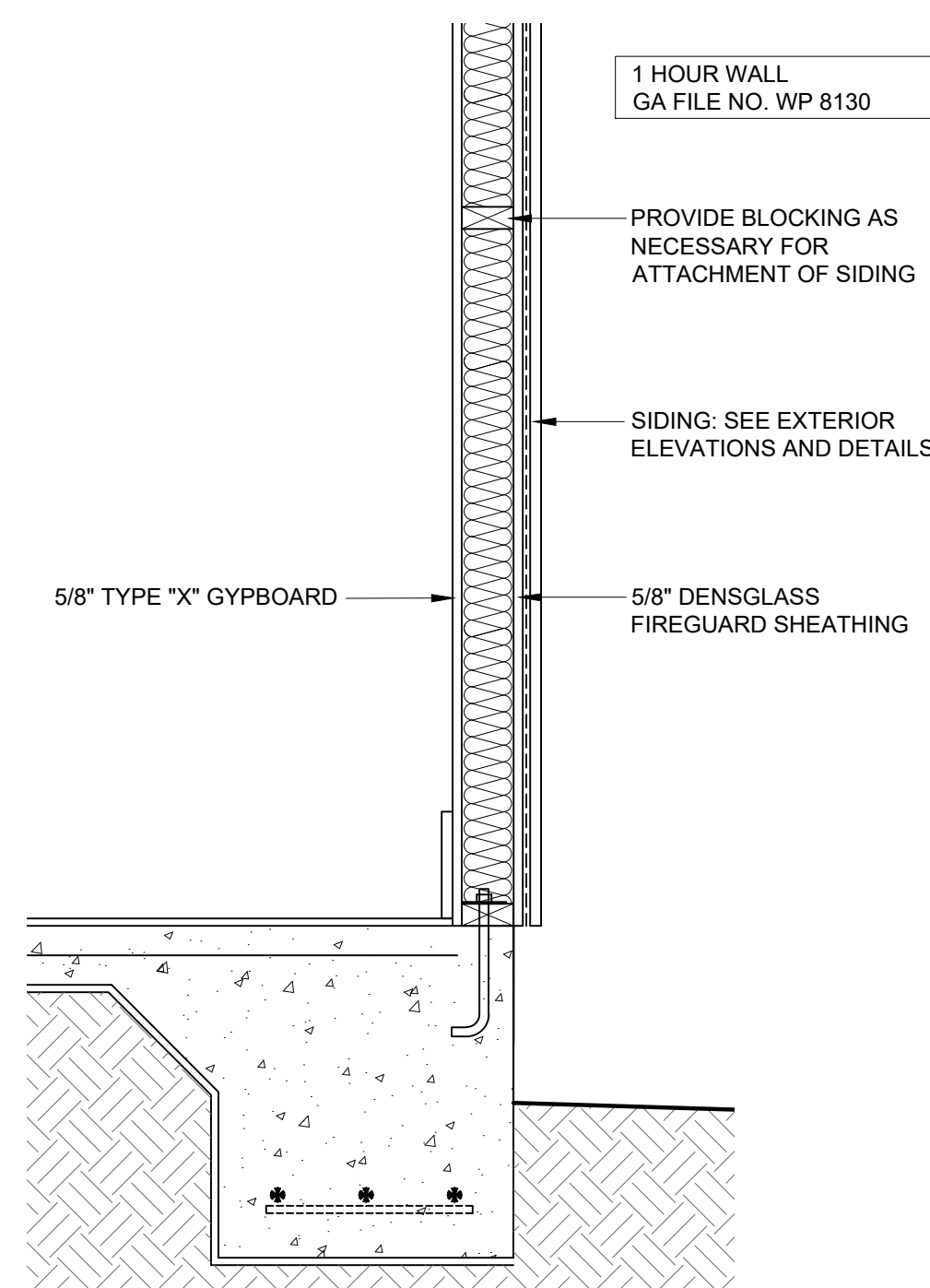


FIFTY OAKS - Framing Sections
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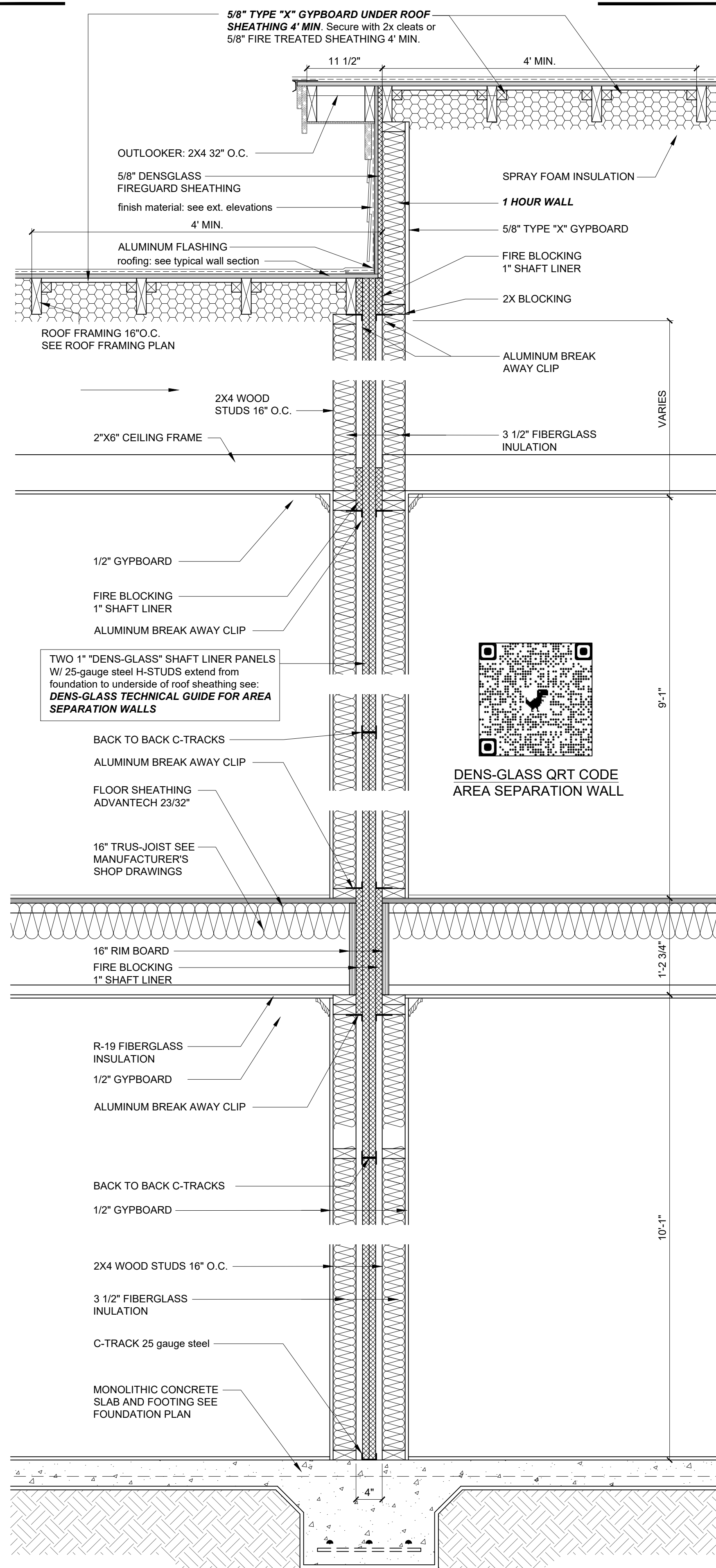
A5.2



4
A6.1

TYPICAL 1 HOUR WALL

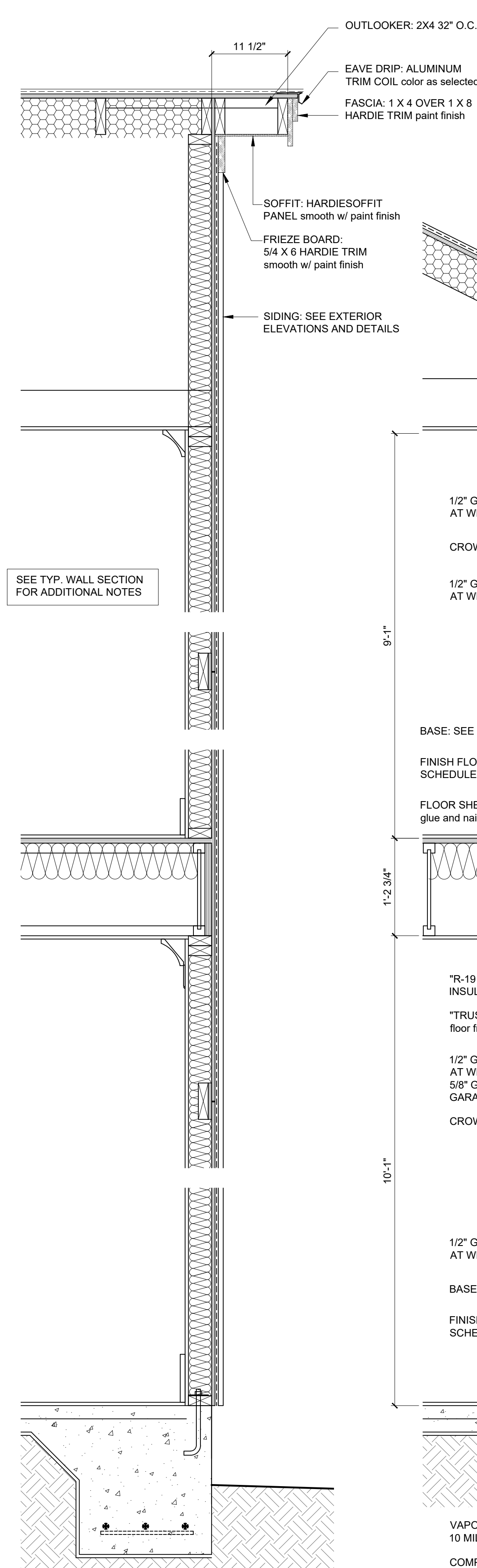
0 3" 6" 1' 2'



3
A6.1

SEPARATION WALL SECTION

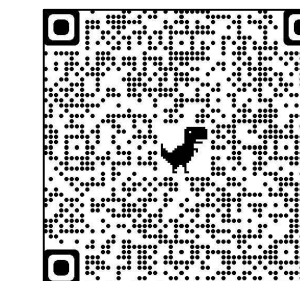
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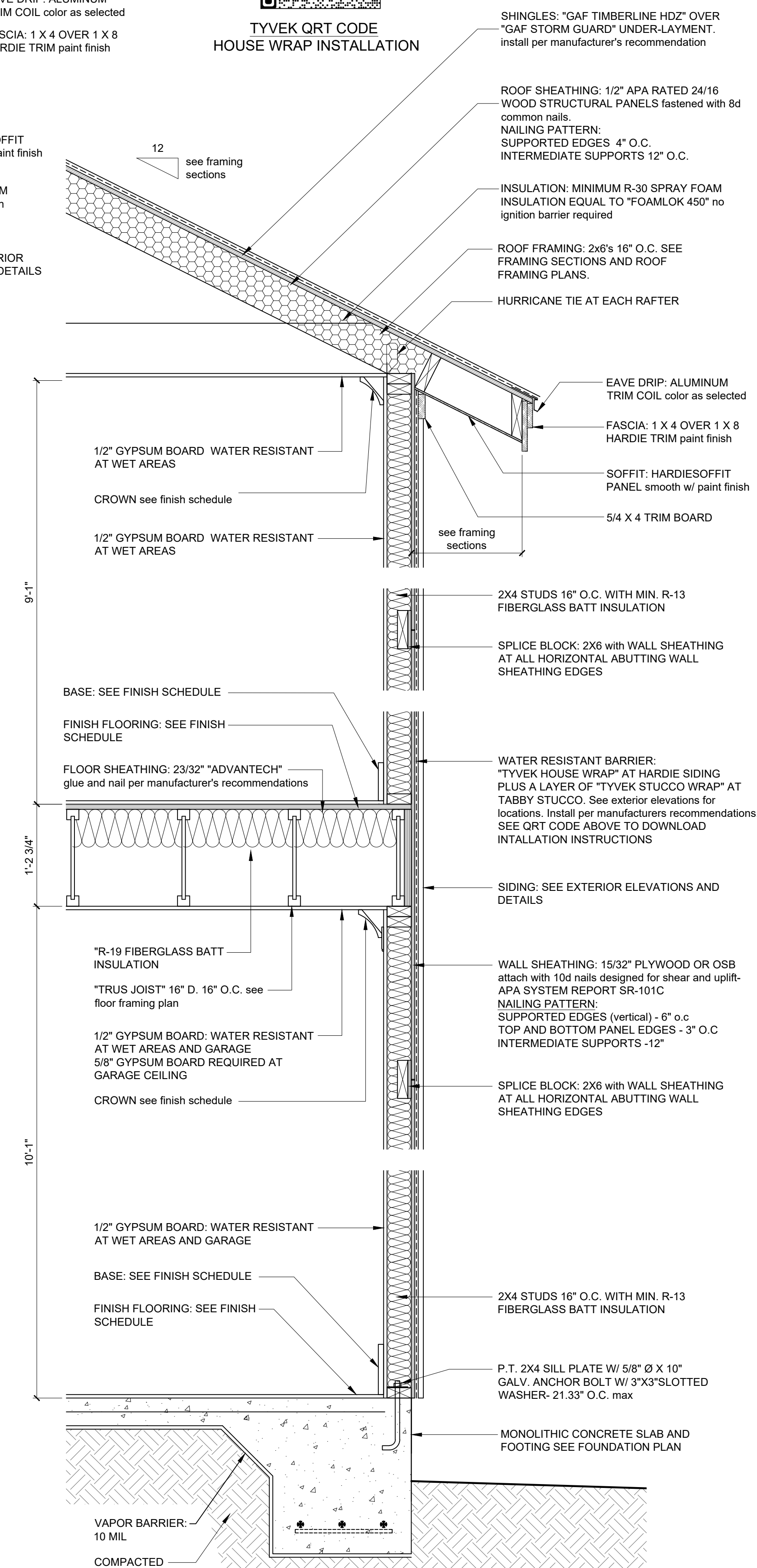
2
A6.1

TYPICAL WALL AT GABLE END RAKE

0 3" 6" 1' 2'



TYVEK QRT CODE
HOUSE WRAP INSTALLATION



1
A6.1

TYPICAL WALL SECTION

0 3" 6" 1' 2'



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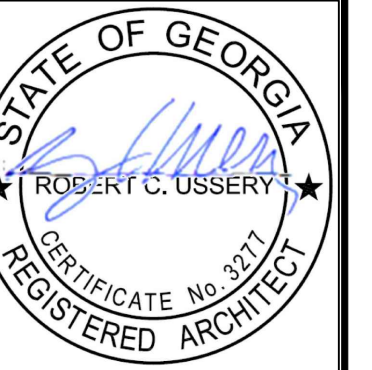
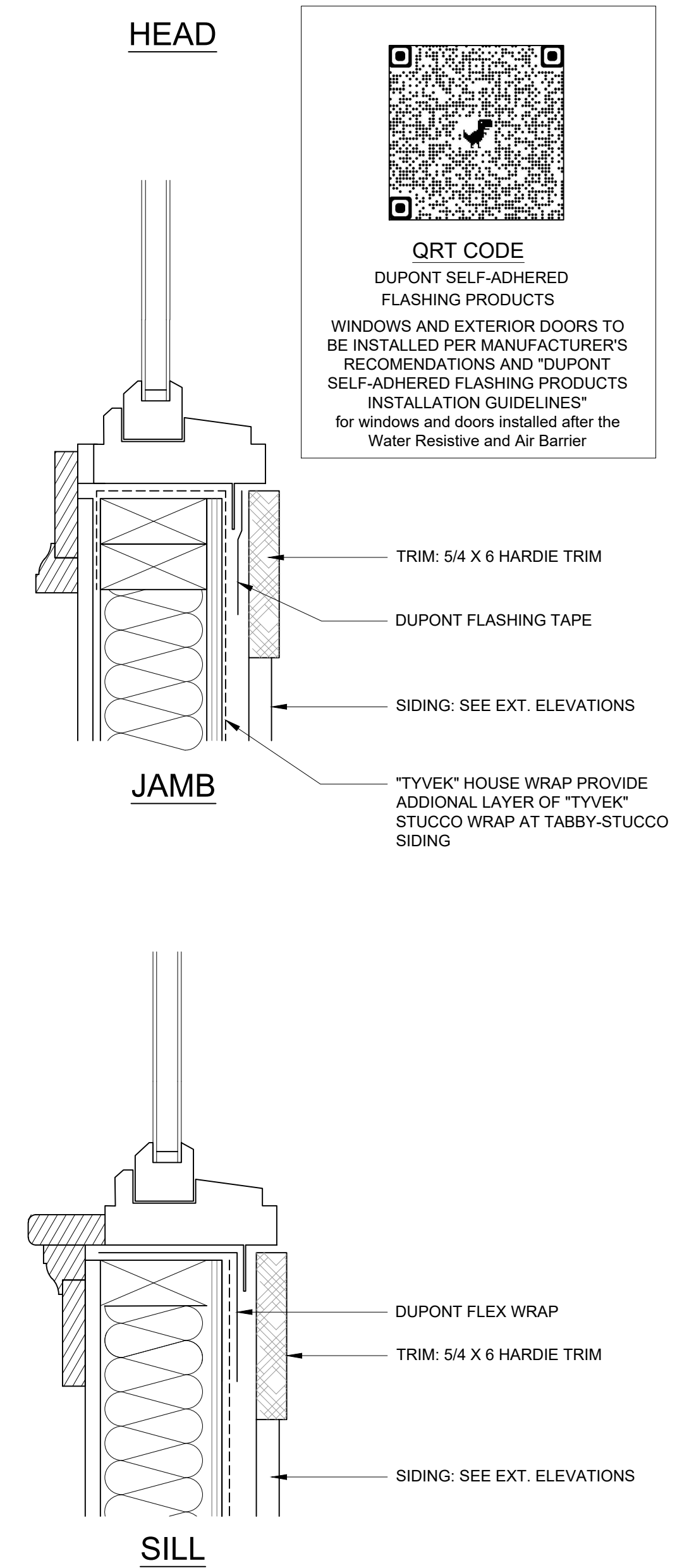
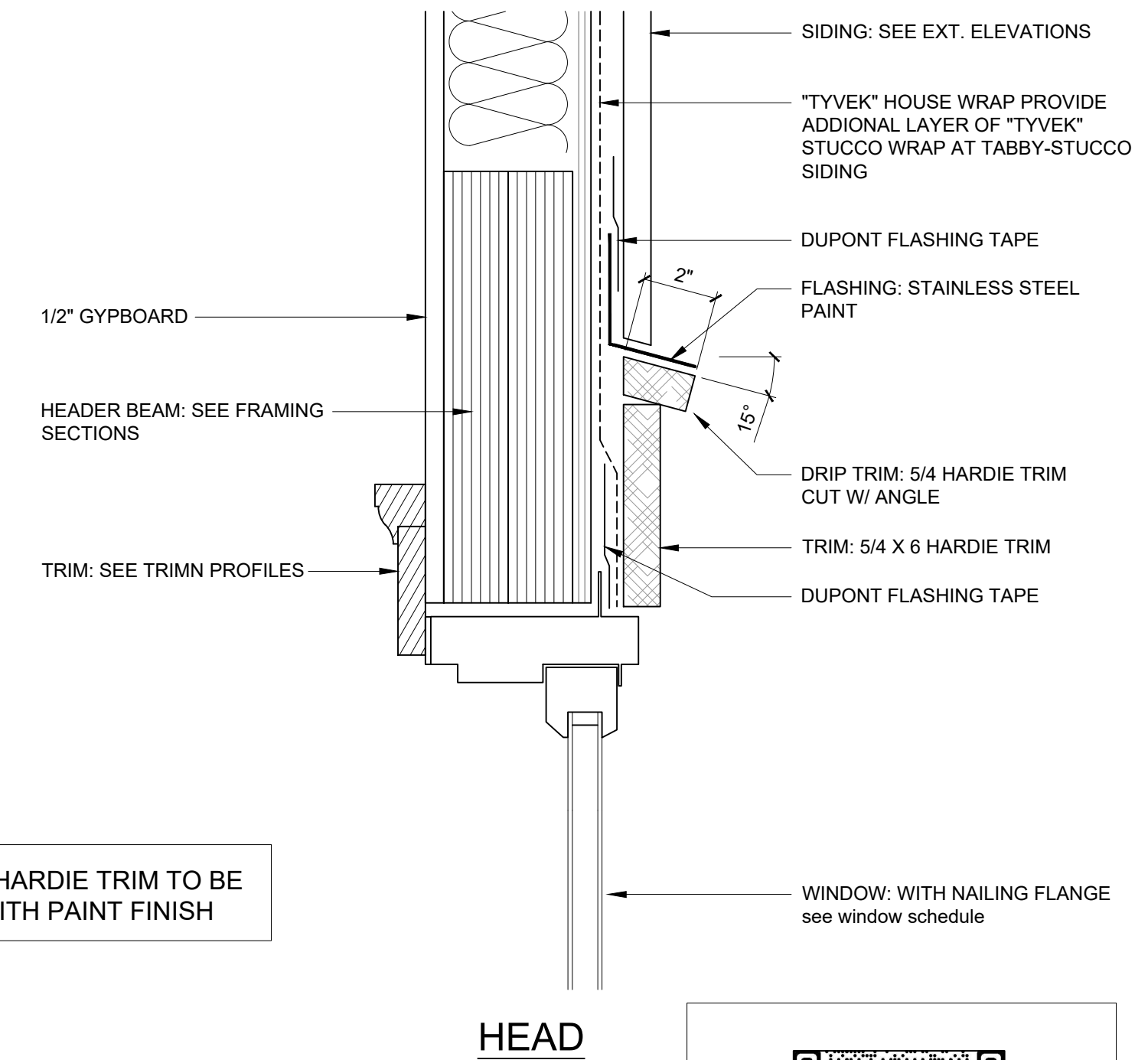
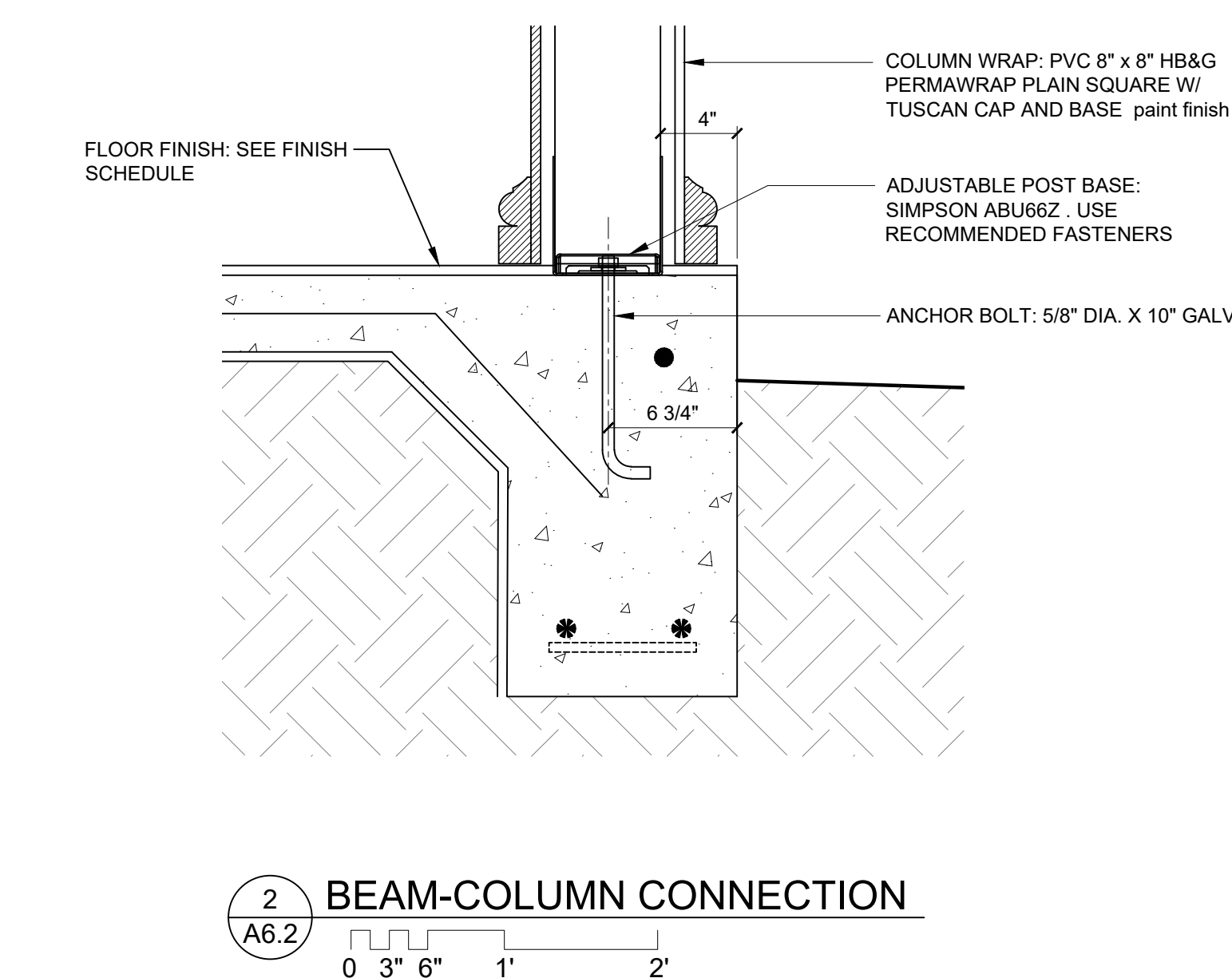
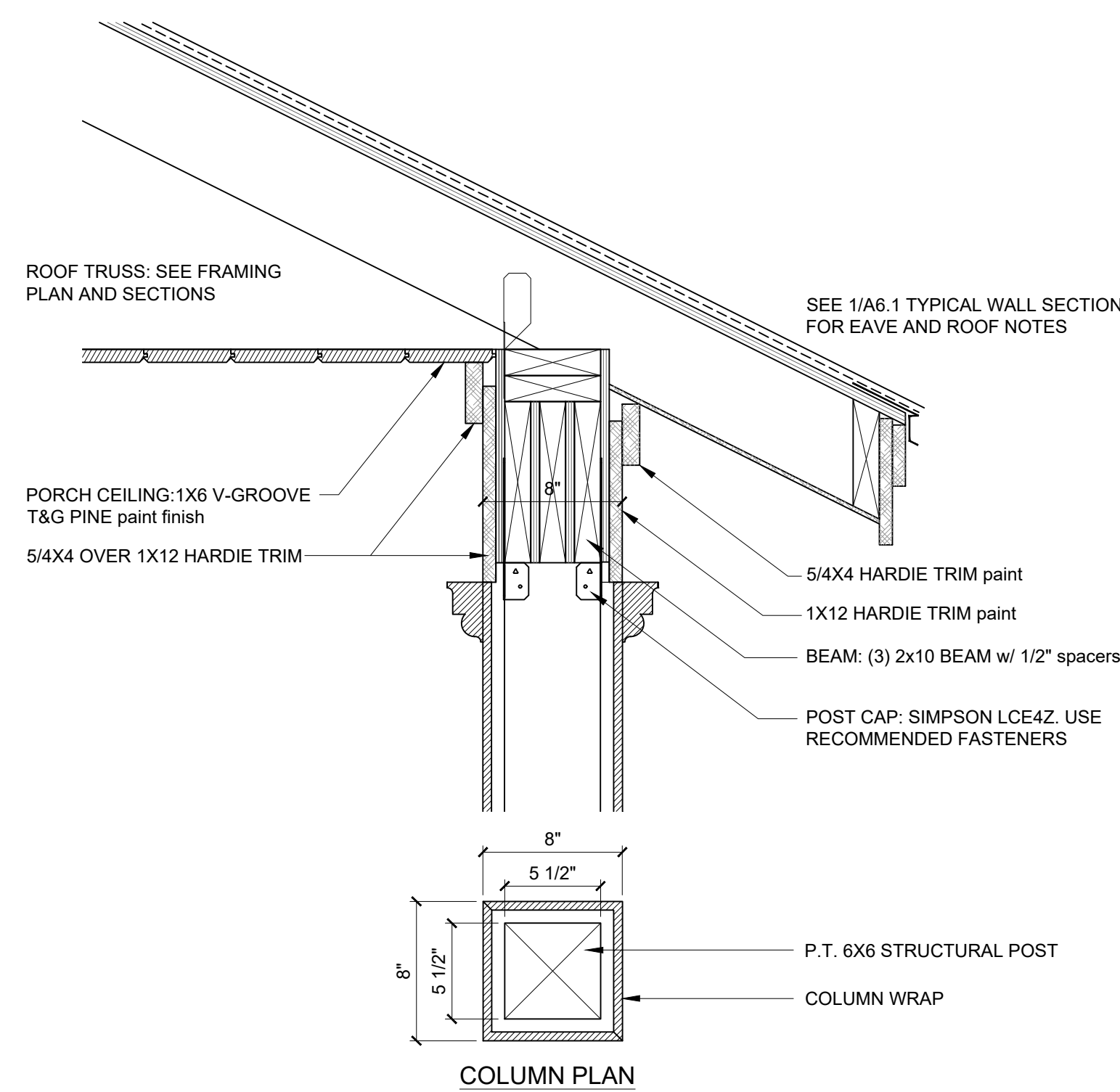
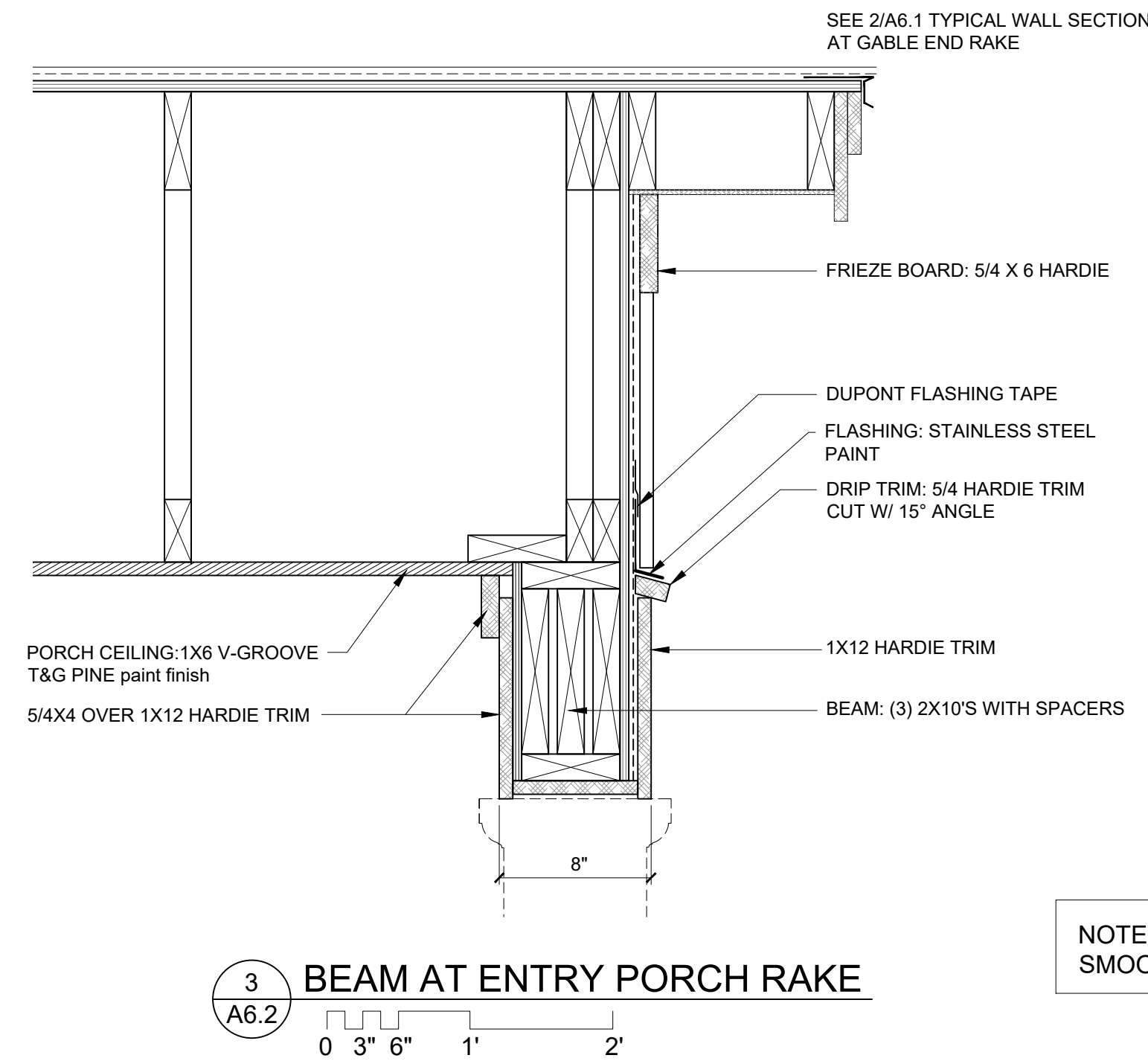
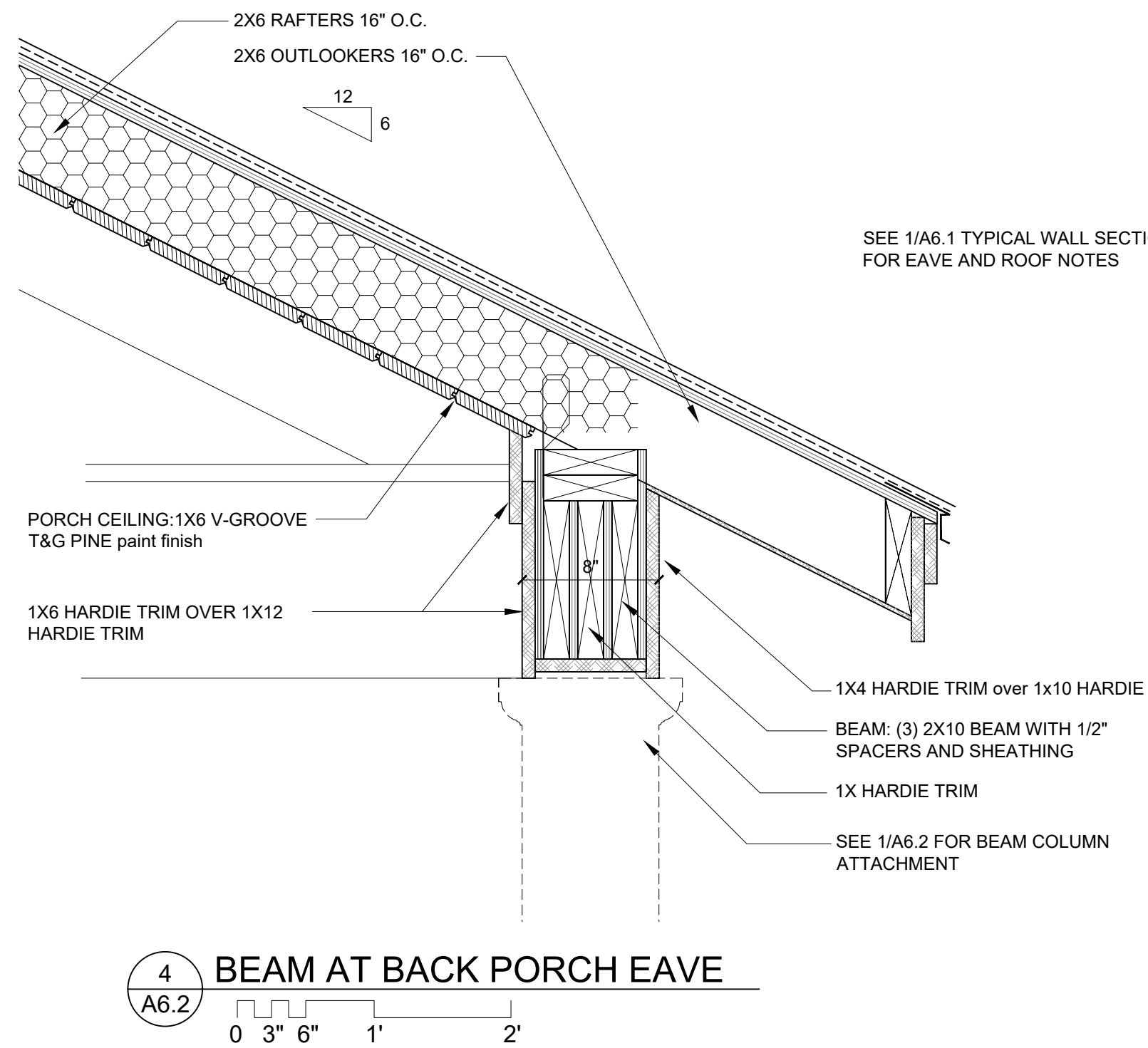
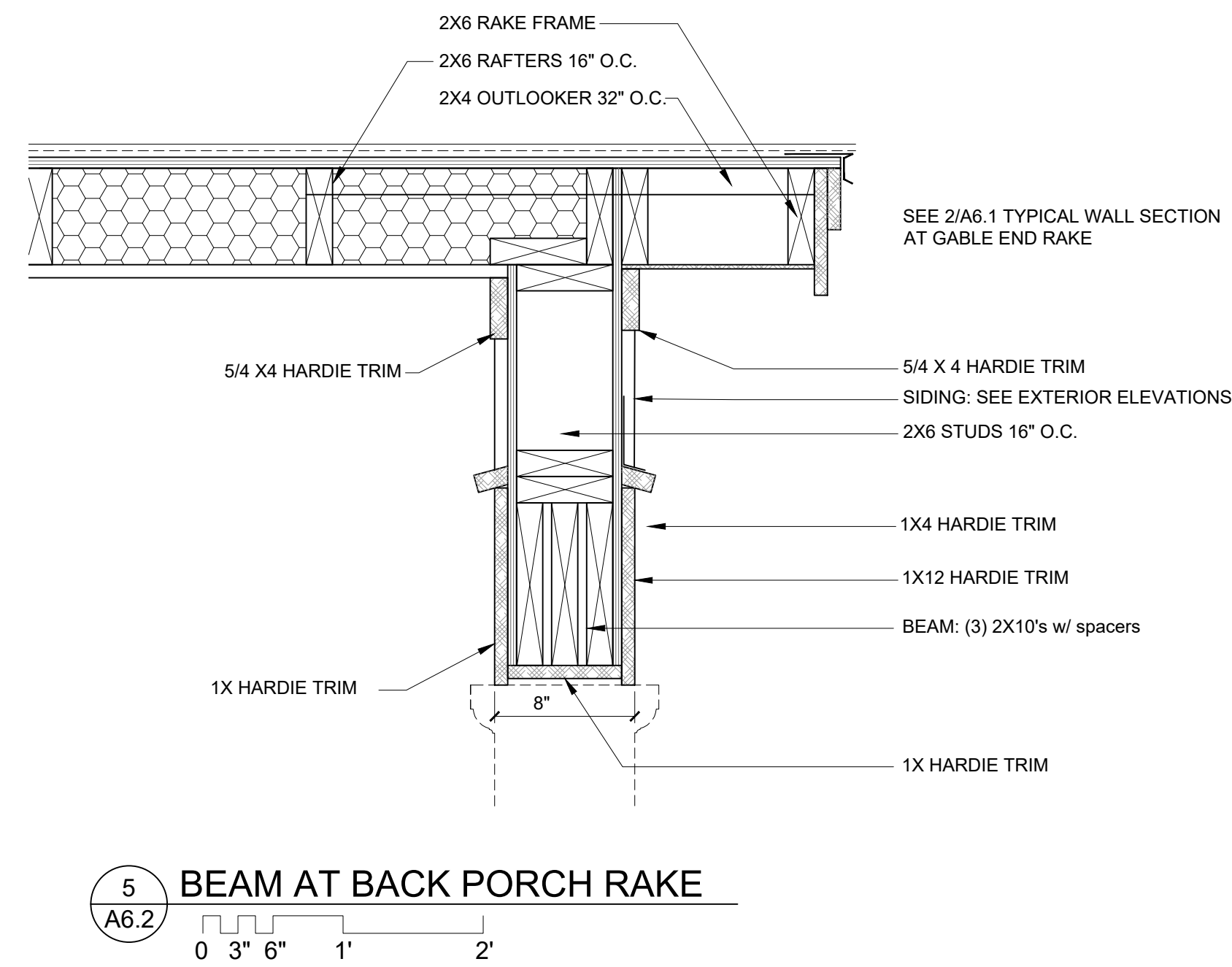


FIFTY OAKS - Wall Sections
South Harrington Road
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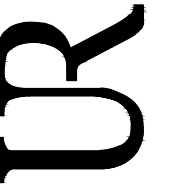
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A6.1



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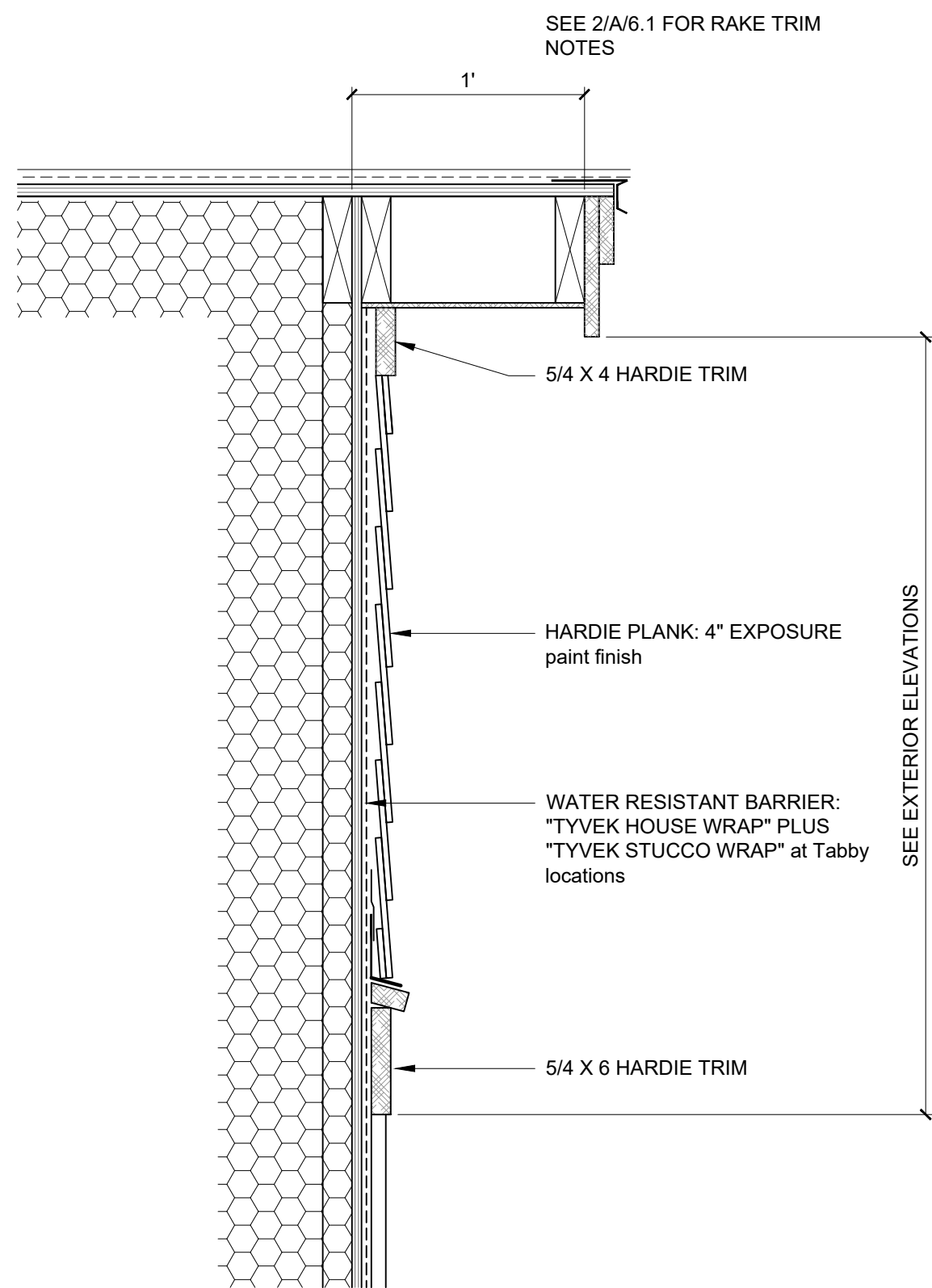


FIFTY OAKS - Wall Sections
South Harrington Road
St. Simons Island, Georgia

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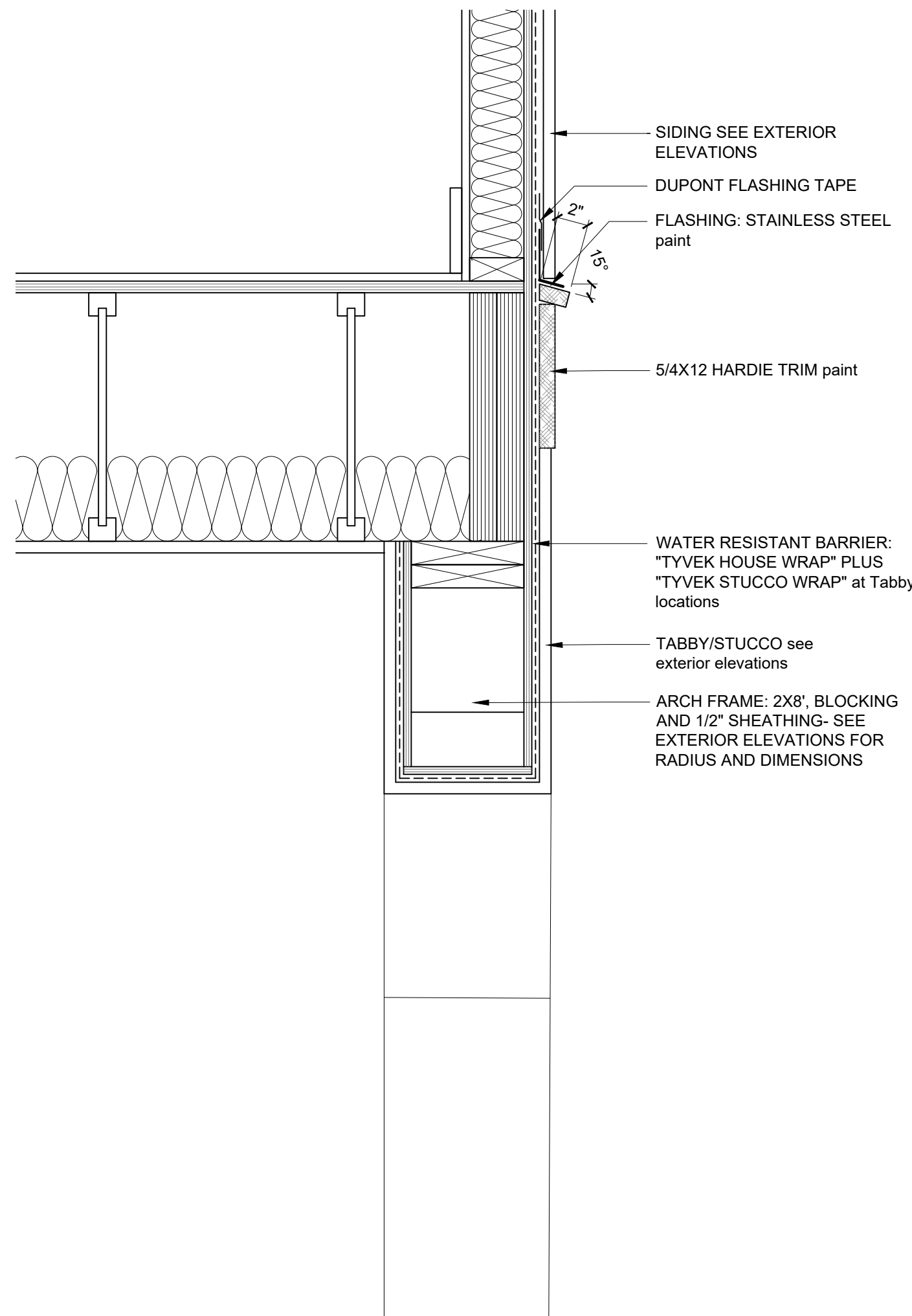
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A6.2



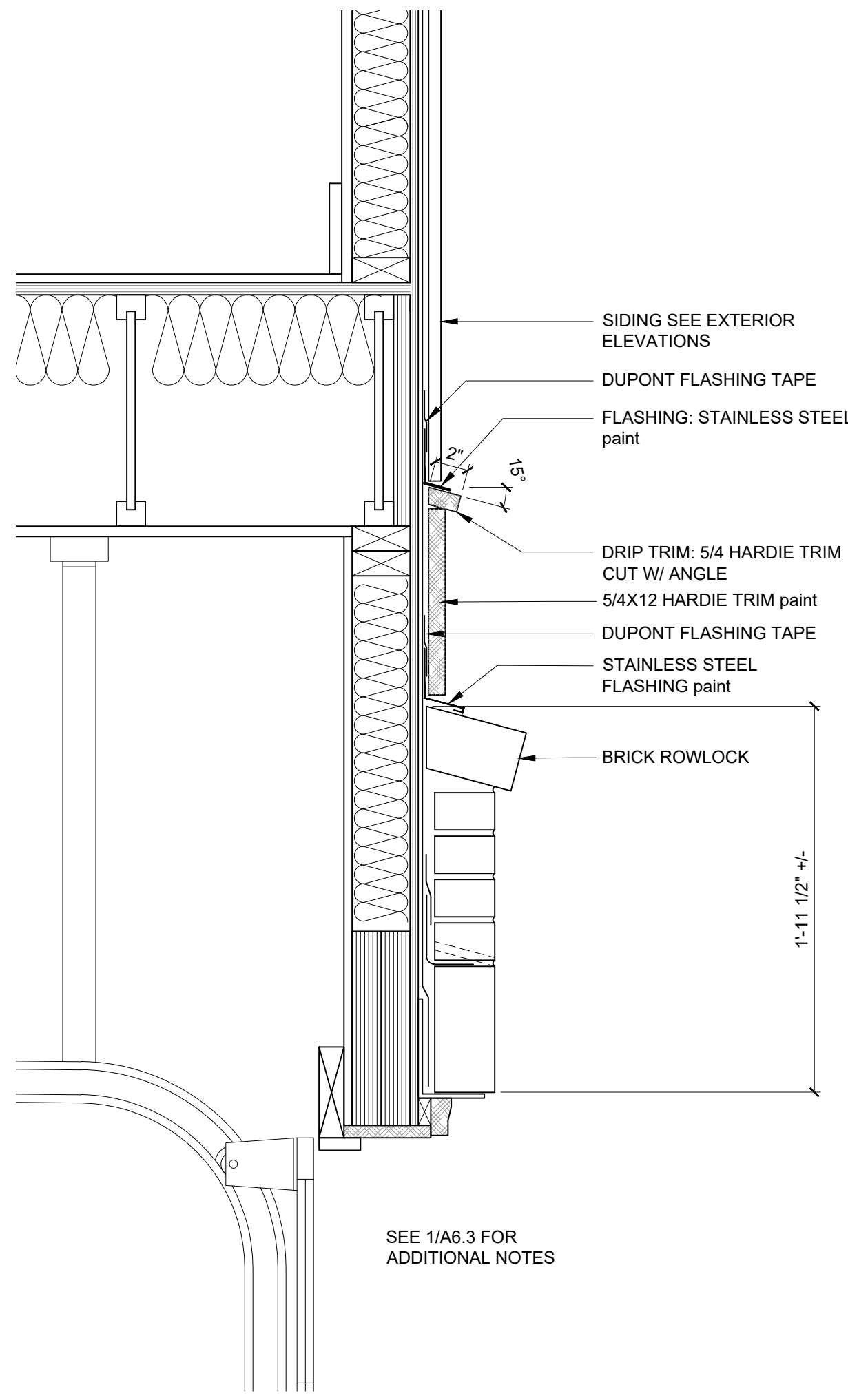
4 GABLE FEATURE
A6.3

0 3" 6" 9" 1' 2'



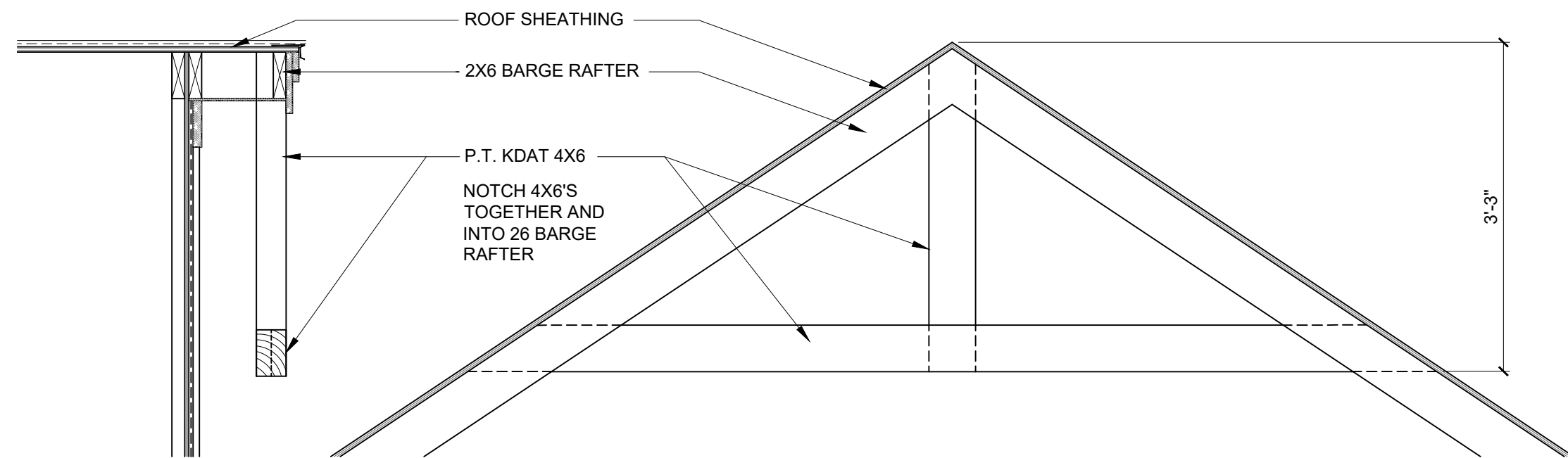
3 TABBY ARCH AT UNIT TYPE "B" AND "E"
A6.3

0 3" 6" 9" 1' 2'



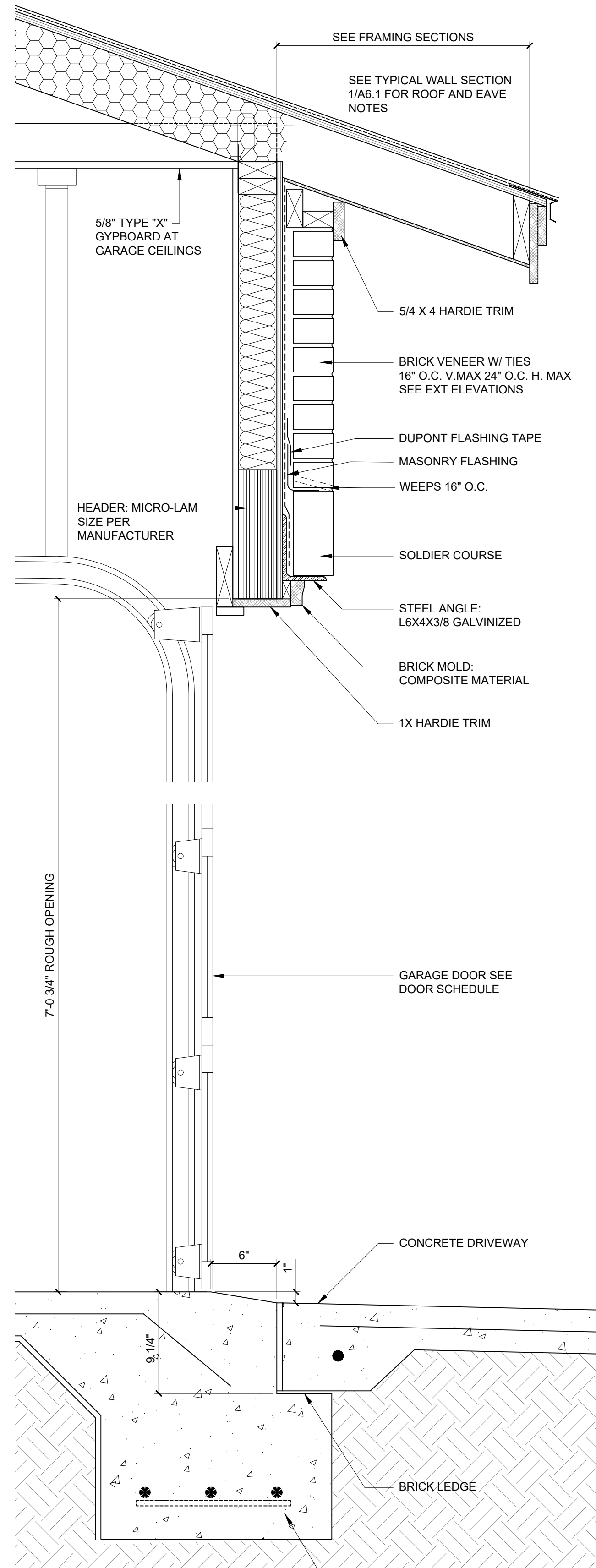
2 GARAGE DOOR SECTION
A6.3

0 3" 6" 9" 1' 2'



5 GABLE BRACKET DETAIL
A6.3

0 1' 2' 4'

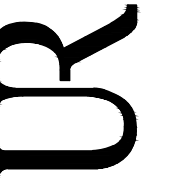


1 GARAGE DOOR SECTION
A6.3

0 3" 6" 9" 1' 2'



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A6.3

UNIT A - DOOR SCHEDULE							
MARK	UNIT SIZE	DESCRIPTION	FRAME	GLAZING	CASING	HARDWARE	COMMENTS
A-1	9-0 X 7-0	INSULATED GARGE DOOR	-	MFG	-	MFG	SEE ELEVATIONS, ANY GLAZING TO BE IMPACT RESIST.
A-2	3-0 X 8-0 X 1 3/4	EXTERIOR ENTRANCE DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS, THRESHOLD & WEATHERSTRIPPING
A-6	2-10 X 6-8 X 1 3/4	INTERIOR DOOR, AS SELECTED	WOOD	-	-	SEC	SOLID WOOD, OR 20 MIN. RATED W/ CLOSER. THRESHOLD & WEATHER STRIPPING
A-8	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-10	2-10 X 6-8	CASED OPENING	WOOD	-	-	-	-
A-11	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-12	1-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-13	2-10 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-15	8-0 X 8-0	SLIDING GLASS DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS
A-16	2-10 X 8-0 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-17	2-10 X 8-0 X 1 3/8	INTERIOR POCKET DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-18	2-10 X 8-0 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-19	2-4 X 8-0 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-20	2-8 X 6-8	ALUMINUM SCREEN DOOR, AS SELECTED	ALUM.	N/A	N/A	MFG	-
A-21	2-10 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-22	2-10 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-23	2-10 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-24	PR. 1-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-25	PR. 1-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-26	PR. 2-0 X 6-8 X 1 3⁄8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	
A-27	2-10 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
A-28	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-30	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-31	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
A-38	2-0	CUSTOM INTERIOR DOOR	WOOD	-	-	PASS	-

WINDOW SCHEDULE						
MARK	NOMINAL UNIT SIZE	HEAD HEIGHT	DESCRIPTION	GLAZING	CASING	COMMENTS
A	3-0 X 6-0	8'-0"	-	IMPACT	-	-
B	PR. 3-0 X 6-0	8'-0"	-	IMPACT	-	-
C	TRIPLE 3-0 X 6-0	8'-0"	-	IMPACT	-	-
D	PR. 2-6 X 6-0	8'-0"	-	IMPACT	-	-
E	PR. 2-4 X 4-8	8'-0" & 7'-4"	-	IMPACT	-	-
F	TRIPLE 3-0 X 4-8	7'-4"	-	IMPACT	-	-
G	PR. 3-0 X 4-8	7'-4"	-	IMPACT	-	-
H	3-0 X 4-8	7'-4"	-	IMPACT	-	-
I	2-4 X 4-0	8'-2 3/4"	-	IMPACT	-	-
J	2-4 X 4-8	7'-4"	-	IMPACT	-	-

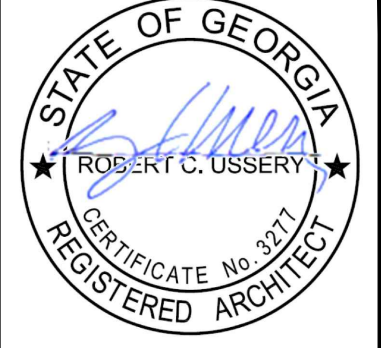
- NOTES:
1.

SEE FLOOR PLAN FOR WINDOW LOCATIONS, ALL WINDOWS MAY NOT BE USED
2.

SEE EXTERIOR ELEVATIONS FOR HEAD HEIGHTS
3.

FIRST FLOOR WINDOW HEAD HEIGHT = 8'-0" U.N.O.
4.

SECOND FLOOR WINDOW HEAD HEIGHT = 7'-4" U.N.O.

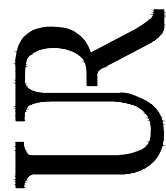


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FIFTY OAKS - BUILDING 3

South Harrington Road

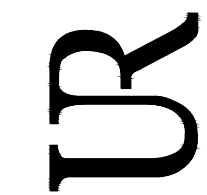
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A7.1



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M.1

GENERAL MECHANICAL NOTES:

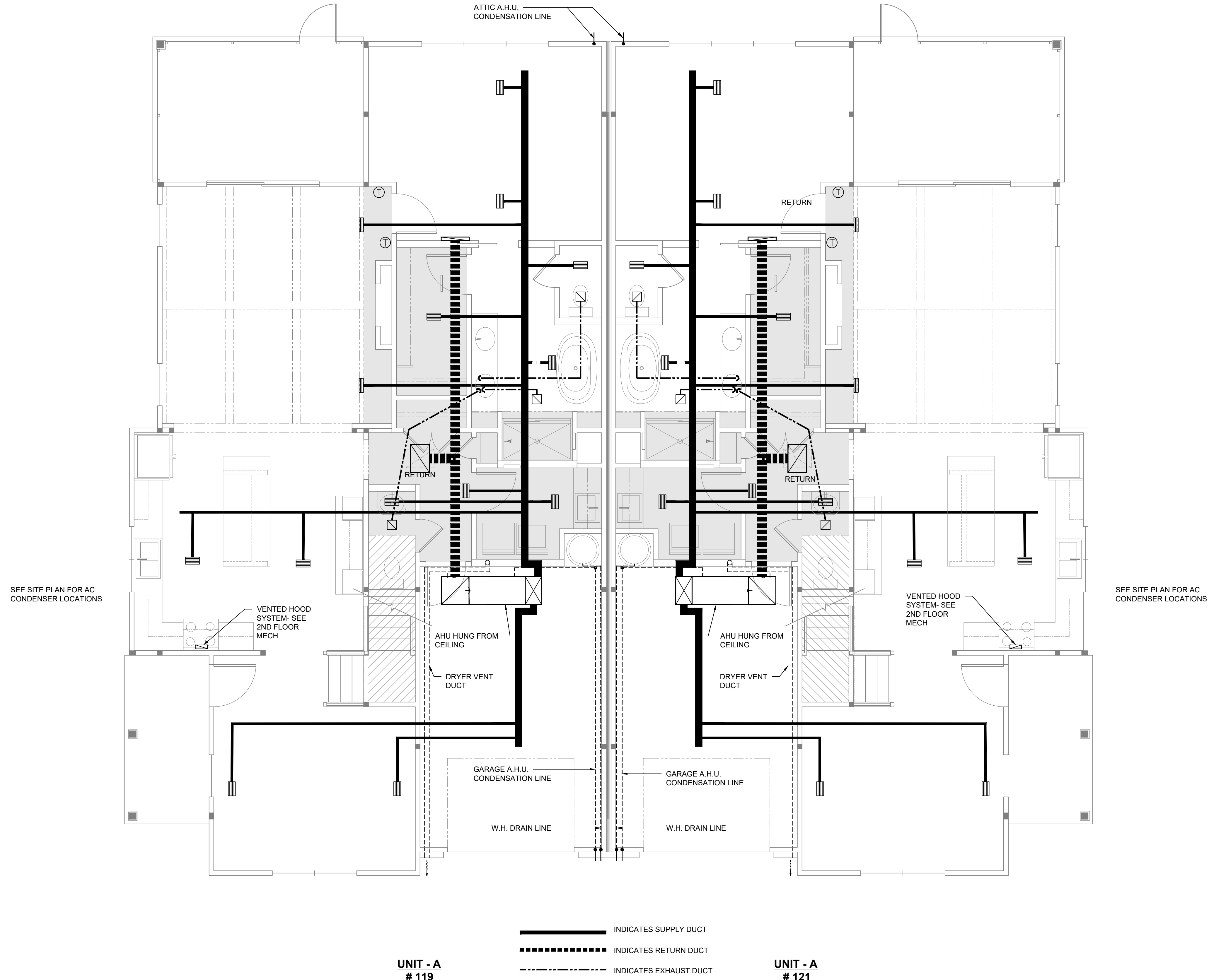
- CONSULT UNIT MANUFACTURER FOR REFRIGERANT PIPING SIZES FROM FIELD VERIFIED DIMENSIONS. (TYPICAL)
- CONSULT UNIT MANUFACTURER FOR COMPRESSOR SIZE REQUIREMENTS FROM FIELD VERIFIED DIMENSIONS AND CONDITIONS.
- COORDINATE THE INSTALLATION OF THIS WORK WITH THAT OF OTHER TRADES TO PROVIDE THE BEST ARRANGEMENT OF PIPING, DUCTWORK, AND EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
- PIPING, DUCTWORK AND EQUIPMENT IS SHOWN IN ITS GENERAL LOCATION, UNLESS DIMENSIONED. EXACT LOCATION SHALL BE DETERMINED BY THE LOCATION OF OTHER EQUIPMENT, AND TO PROVIDE SERVICE CLEARANCE.
- ARRANGE PIPING AND DUCTWORK TO CLEAR STRUCTURAL MEMBERS, PLUMBING, PIPING AND LIGHT FIXTURES.
- EXACT LOCATION OF GRILLES AND CEILING OUTLETS SHALL BE DETERMINED ON THE JOB. COORDINATE WITH LIGHTS AND ARCHITECTURAL REQUIREMENTS TO PROVIDE A UNIFORM AND SYMMETRICAL APPEARANCE. REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR DETAILS.
- ALL PIPING SHALL BE CONCEALED, UNLESS NOTED OTHERWISE.
- PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL AIR HANDLING EQUIPMENT.
- SLOPE DRAIN LINES TOWARD DRAIN WITH A MINIMUM SLOPE OF 1/4" PER FOOT.
- VERIFY LAYOUT AND CONFIGURATION OF SUPPLY LINES ON THE JOB.
- THE CONTRACTOR SHALL PROVIDE SPECIFICATIONS OF SYSTEMS TO BE USED FOR REVIEW AND APPROVAL BY OWNER. OWNER SHALL APPROVE DUCT LAYOUT AND DIFFUSER PLACEMENT ON JOB BEFORE INSTALLATION

THERMOSTATS TO BE AS SELECTED BY OWNER.

- INDICATES SUPPLY AIR DIFFUSER
- ▣ INDICATES RETURN AIR DIFFUSER
- Ⓢ INDICATES THERMOSTAT

GENERAL PLUMBING NOTES:

- PLUMBING SHALL COMPLY WITH INTERNATIONAL PLUMBING CODE AND LOCAL REQUIREMENTS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- EXACT LOCATIONS AND ROUGHING REQUIREMENTS FOR ALL FIXTURES AND EQUIPMENT SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS, LARGE SCALE ARCHITECTURAL DETAILS AND APPROVED MANUFACTURER'S SHOP DRAWINGS. PARTICULAR ATTENTION SHALL BE DIRECTED TO FIXTURES OR EQUIPMENT FURNISHED UNDER OTHER DIVISIONS.
- INVERT ELEVATIONS SHOWN SHALL BE FIELD VERIFIED BEFORE INSTALLING ANY NEW PIPE.
- INSTALL TEST-TEES WHEN THE SANITARY SEWER SYSTEM IS TESTED IN SECTIONS.
- PIPING IS SHOWN IN ITS GENERAL LOCATION (UNLESS DIMENSIONED). EXACT LOCATION SHALL BE DETERMINED BY JOB CONDITIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HIS WORK WITH THAT OF OTHER TRADES AND ARRANGE PIPING TO CLEAR STRUCTURAL MEMBERS AND DUCTWORK.
- RISERS FOR FIXTURES, UNLESS NOTED OTHERWISE, SHALL BE CONCEALED IN WALLS OR PIPE CHASES.
- INSTALL UNDERGROUND WATER LINE(S) ABOVE SOIL AND WASTE LINE(S). WATER LINE IN SAME TRENCH WITH SOIL OR WASTE LINE SHALL BE INSTALLED ON AN UNDISTURBED EARTH LEDGE WITH THE BOTTOM OF THE WATER LINE 12" (MIN.) ABOVE THE TOP OF THE SOIL OR WASTE LINE.
- REFER TO ARCHITECTURAL FINISH SCHEDULE AND ELEVATIONS FOR DETAILS OF FLOORS WHERE FLOOR DRAINS AND CLEANOUTS ARE LOCATED.
- INSTALL EXTERIOR WALL HYDRANTS 18" ABOVE FINISH GRADE, EXCEPT AS NOTED OTHERWISE.
- PROVIDE SLEEVES FOR PIPES PASSING THROUGH FLOORS, MASONRY WALLS AND FIRE OR SMOKE PARTITIONS. PACK ANNULAR SPACE BETWEEN PIPE WITH MATERIAL APPROVED IN U.L. BUILDING DIRECTORY.
- PIPING SHALL RUN TRUE, STRAIGHT, PLUMB AND PARALLEL TO WALLS; ARRANGE AS REQUIRED TO PERMIT FREE, UNRESTRAINED, NOISELESS EXPANSION AND CONTRACTION. UNLESS NOTED OTHERWISE, SOIL, WASTE, DRAIN AND VENT PIPING SHALL BE CONCEALED IN WALLS, PIPE CHASES, OR SHAFTS WITH CLEAN-OUTS EXTENDED TO ACCESSIBLE LOCATIONS. ALL PLUMBING FIXTURES SHALL BE VENTED TO PREVENT SIPHONING OF TRAPS.



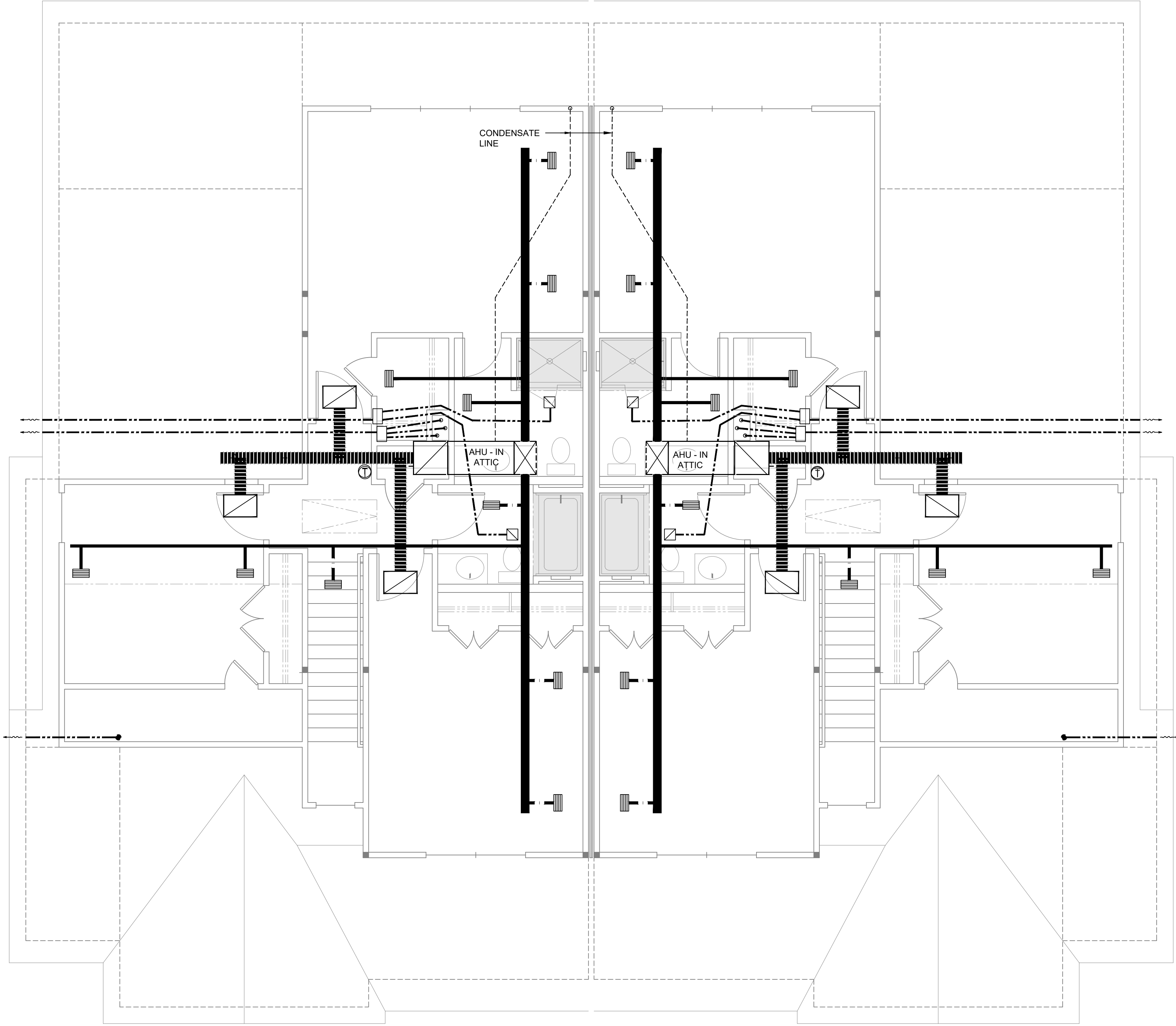
- INDICATES SUPPLY DUCT
- - - INDICATES RETURN DUCT
- · · INDICATES EXHAUST DUCT

UNIT - A
119

UNIT - A
121

1
M.1
0' 2' 4' 8'
FIRST FLOOR MECHANICAL PLAN

NOTE:
DRAWING FOR PLANNING PURPOSES ONLY.
CONTRACTOR TO SUBMIT EQUIPMENT
SCHEDULE AND DUCT LAYOUT FOR APPROVAL.



UNIT - A
119

UNIT - A
121

- INDICATES SUPPLY DUCT
- INDICATES RETURN DUCT
- INDICATES EXHAUST DUCT

1 SECOND FLOOR MECHANICAL PLAN
M.2

0' 2' 4' 8'

NOTE:
DRAWING FOR PLANNING PURPOSES ONLY.
CONTRACTOR TO SUBMIT EQUIPMENT
SCHEDULE AND DUCT LAYOUT FOR APPROVAL.

NOTE:
SEE SHEET M.1 FOR ADDITIONAL MECHANICAL AND PLUMBING
NOTES.

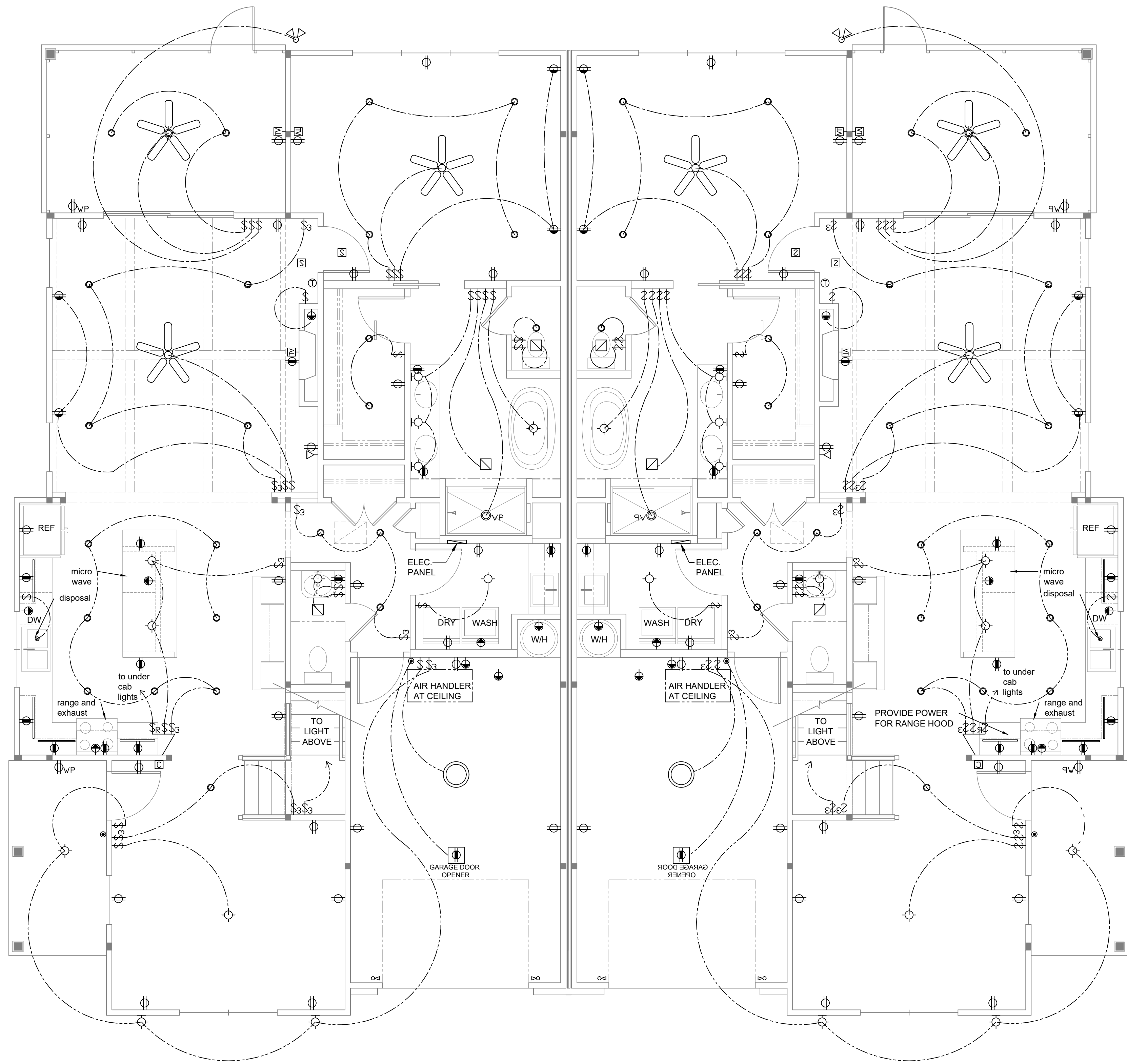


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M.2



ELECTRIC METER
LOCATION, SEE SITE
PLAN, SHEET A0.1

ELECTRIC METER
LOCATION, SEE SITE
PLAN, SHEET A0.1

UNIT - A
119

UNIT - A
121

1
E.1 FIRST FLOOR ELECTRICAL PLAN

0' 2' 4' 8'

ELECTRICAL SYMBOLS LEGEND			
	DUPLEX CONVENIENCE OUTLET		JUNCTION BOX
	DUPLEX OUTLET TOP SWITCHED		RECESSED CAN L.E.D.
	DUPLEX OUTLET - WATERPROOF		RECESSED CAN L.E.D. VAPOR PROOF LIGHT
	DUPLEX OUTLET - VERIFY HEIGHT		SLOPED CEILING RECESSED CAN L.E.D.
	FLOOR DUPLEX RECTANGLE OUTLET		CEILING MOUNT L.E.D. LIGHT * AS SELECTED BY OWNER
	SWITCH		WALL MOUNT L.E.D. LIGHT
	THREE WAY SWITCH		TELEPHONE OUTLET
	FOUR WAY SWITCH		TELEVISION CABLE OUTLET
	SPECIAL OUTLET - VERIFY		EXHAUST FAN
	SMOKE DETECTOR		EXHAUST FAN AND LIGHT
	GARAGE DOOR SENSOR		CEILING FAN
	THERMOSTAT		UNDER CABINET LIGHT
	PUSH BUTTON OR JAMB SWITCH		LED STRIP LIGHT
	CHIME		
	FLOOD LIGHT - DIRECTIONAL		

GENERAL ELECTRICAL NOTES:

- CONTRACTOR SHALL PROVIDE FOUR (4) ADDITIONAL ELECTRICAL OUTLETS PER UNIT TO BE LOCATED ON JOB.
- PROVIDE TWO (2) LIGHTS PER UNIT IN ATTIC AND ONE (1) LIGHT PER UNIT AT GARAGE CEILING. TO BE LOCATED ON JOB.
- PROVIDE POWER FOR AIR HANDLERS AND CONDENSER UNITS. TO BE LOCATED ON JOB.
- PROVIDE POWER FOR WATER HEATERS. TO BE LOCATED ON JOB.
- ALL ELECTRICAL RECEPTACLES, TELEPHONE OUTLETS, TB CABLE/ ANTENNA OUTLETS SHALL BE MOUNTED 12" ABOVE FLOOR TO BOTTOM OF BOX. UNLESS NOTED OTHERWISE.
- ALL SWITCHES SHALL BE MOUNTED 48" ABOVE FLOOR TO BOTTOM OF BOX.
- THE ELECTRICAL RECEPTACLE AT THE LAVATORIES SHALL BE GROUND FAULT INTERRUPTER (GFI) TYPE.
- ALL ELECTRICAL COMPONENTS SHALL BE LOCATED ABOVE FLOOD ELEVATION EXCEPT SERVICE TO METER WHICH SHALL BE UNDERGROUND.
- COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ARCHITECTURAL TRIM AND MOULDING.
- COORDINATE POWER REQUIREMENTS OF APPLIANCES AND EQUIPMENT WITH OTHER TRADES.
- SERVICE FEED FROM POWER METER, CATV ENTRY, AND TELEPHONE ENTRY TO UNIT DISTRIBUTION PANELS/ BOARDS SHALL BE HOME-RUN IN CONDUIT.
- PROVIDE POWER FOR ELEVATOR. VERIFY REQUIREMENTS AND LOCATION WITH ELEVATOR MANUFACTURER.



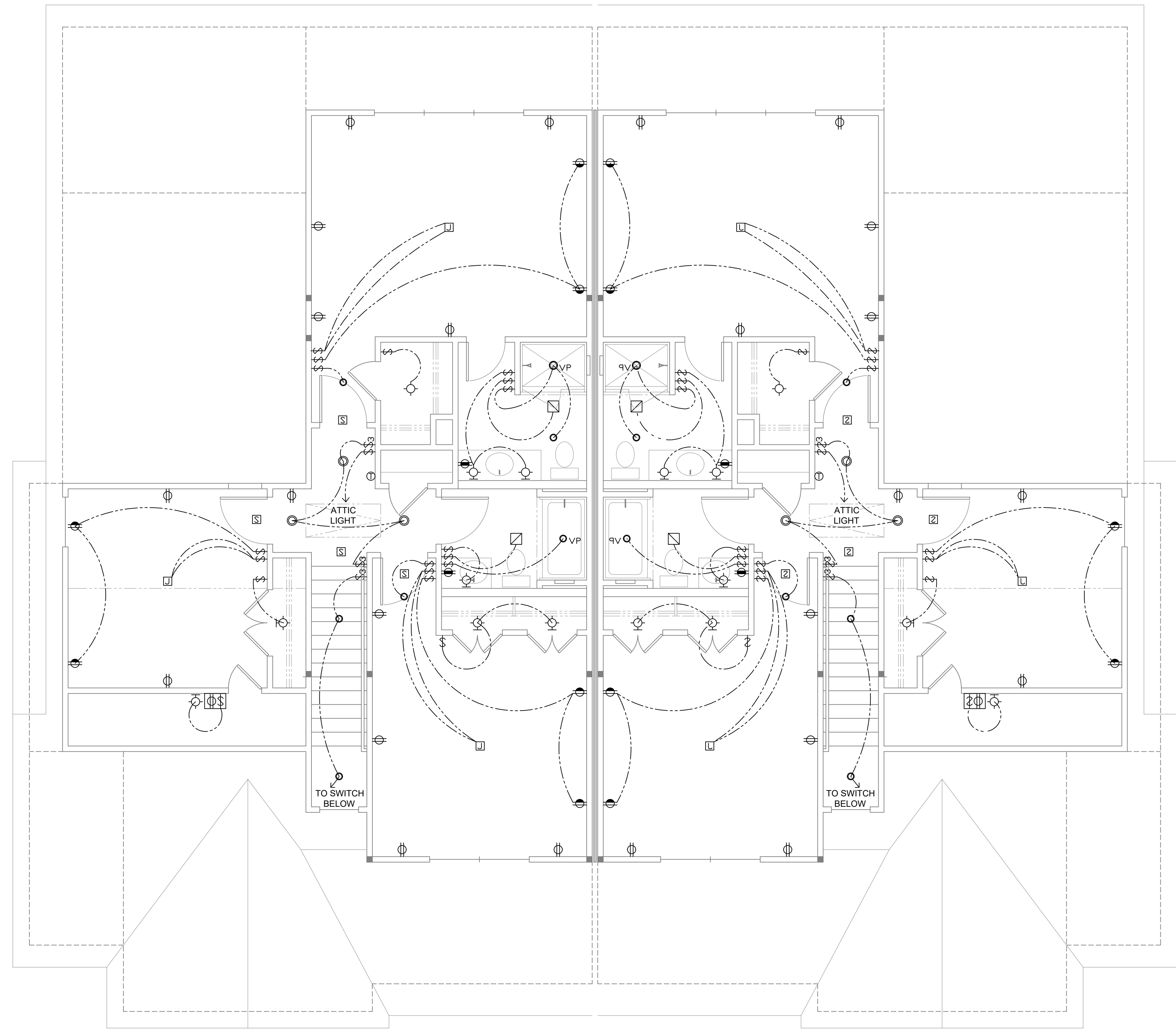
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E.1



UNIT - A
119

UNIT - A
121

1
E.2 SECOND FLOOR ELECTRICAL PLAN
0' 2' 4' 8'

ELECTRICAL SYMBOLS LEGEND			
	DUPLEX CONVENIENCE OUTLET		JUNCTION BOX
	DUPLEX OUTLET TOP SWITCHED		RECESSED CAN L.E.D.
	DUPLEX OUTLET - WATERPROOF		RECESSED CAN L.E.D. VAPOR PROOF LIGHT
	DUPLEX OUTLET - VERIFY HEIGHT		SLOPED CEILING RECESSED CAN L.E.D.
	FLOOR DUPLEX RECTANGLE OUTLET		CEILING MOUNT L.E.D. LIGHT * AS SELECTED BY OWNER
	SWITCH		WALL MOUNT L.E.D. LIGHT
	THREE WAY SWITCH		TELEPHONE OUTLET
	FOUR WAY SWITCH		TELEVISION CABLE OUTLET
	SPECIAL OUTLET - VERIFY		EXHAUST FAN
	SMOKE DETECTOR		EXHAUST FAN AND LIGHT
	GARAGE DOOR SENSOR		CEILING FAN
	THERMOSTAT		UNDER CABINET LIGHT
	PUSH BUTTON OR JAMB SWITCH		LED STRIP LIGHT
	CHIME		
	FLOOD LIGHT - DIRECTIONAL		

GENERAL ELECTRICAL NOTES:

- SEE SHEET E.1 FOR ADDITIONAL ELECTRICAL NOTES.



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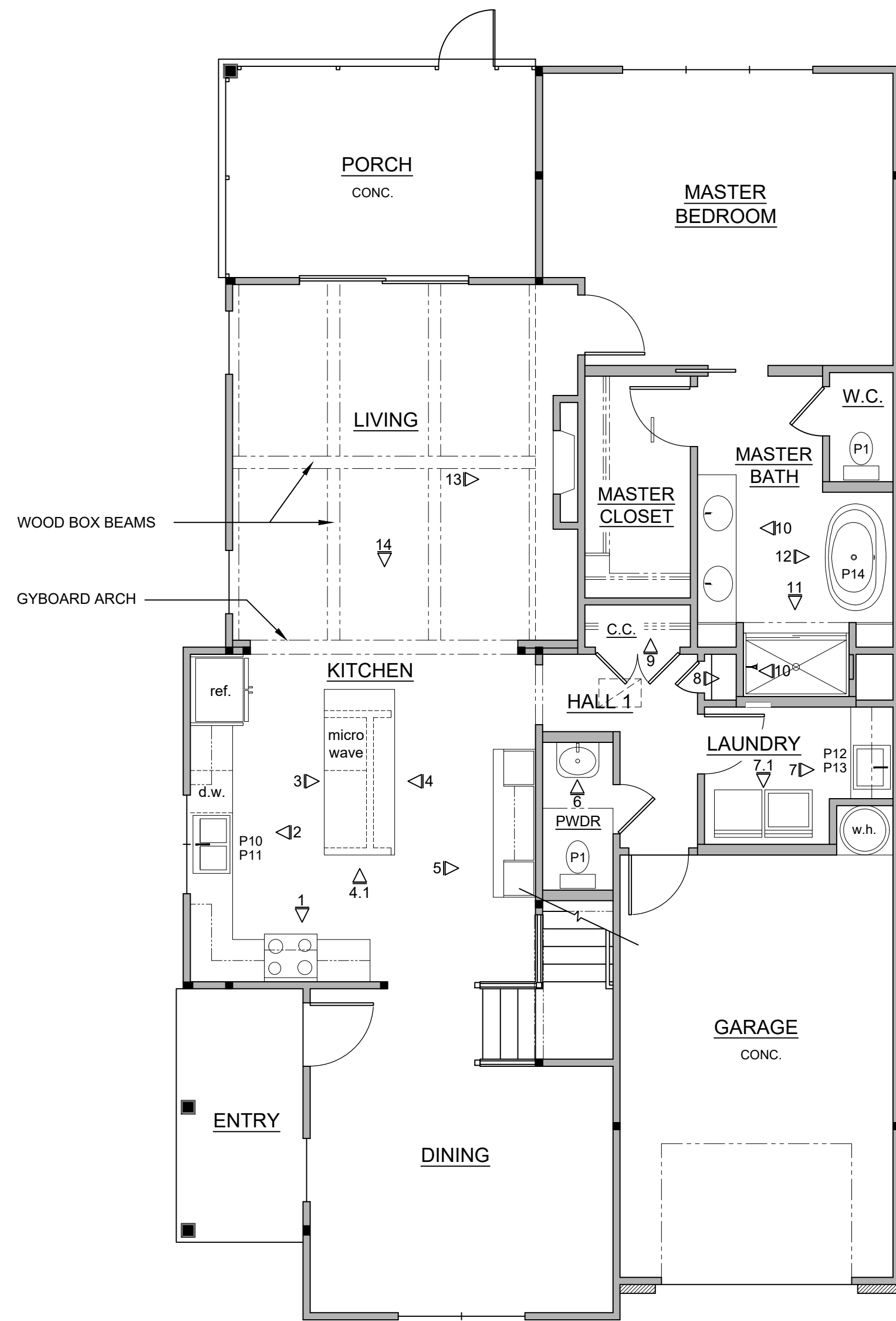


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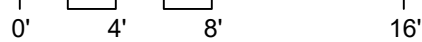
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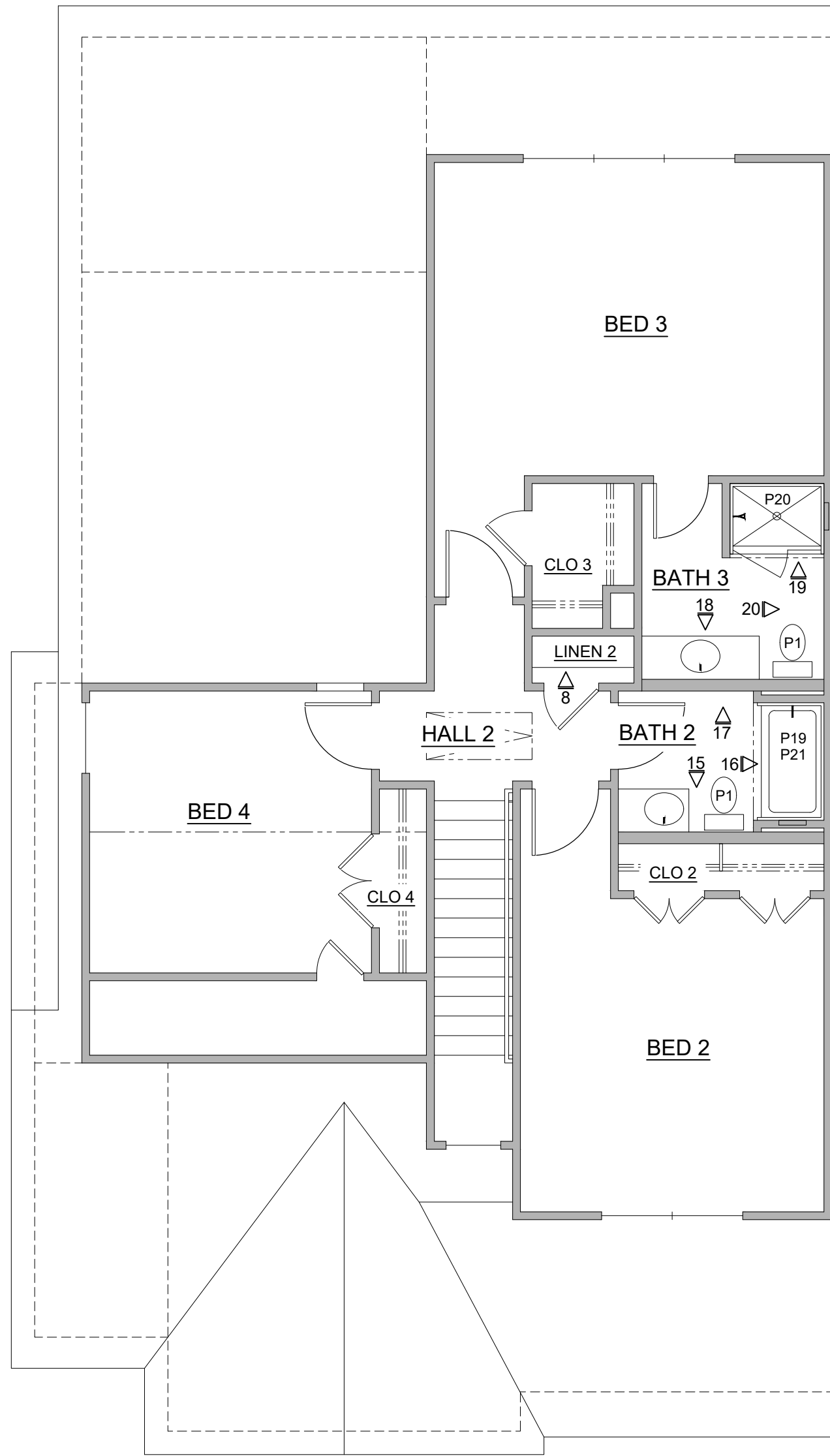
E.2



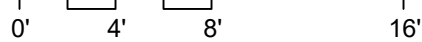
FIRST FLOOR PLAN



SEE 1,2,3/A8.0 FOR CLOSET
SHELVING DETAILS



SECOND FLOOR PLAN



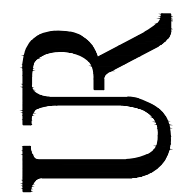
NOTE: INTERIOR ELEVATIONS
AND KEY PLANS MAYBE
REVERSED SEE FLOOR PLAN

ROOM FINISH SCHEDULE UNIT "A"									
	ROOM NAME	CEILING HEIGHT	FLOOR	WALLS	CEILING	BASE	CROWN	CASING	COMMENTS
1st FLOOR	ENTRY	10-1		V-JOINT T&G PAINT	V-JOINT T&G PAINT	--	SEE SECTIONS		-
	DINING	10-1		GPYBRD PAINT	GPYBRD PAINT	B-1	C-1	CS1, WS1	-
	KITCHEN	10-1		GPYBRD PAINT	GPYBRD PAINT	B-1	C-1	CS1, WS1	-
	LIVING	VAULTED		GPYBRD PAINT	V-JOINT T&G PAINT	B-1	C-1	CS1, WS1	WOOD BOX BEAMS STAINED SEE INTERIOR ELEVATIONS
	PORCH	SLOPED		GPYBRD PAINT	V-JOINT T&G PAINT	--	SEE SECTIONS		-
	MASTER BEDROOM	10-1		GPYBRD PAINT	GPYBRD PAINT	B-1	C-1	CS1, WS1	-
	MASTER BATH W.C.	10-1		GPYBRD PAINT	GPYBRD PAINT	TB-1	C-1	CS1, WS1	-
	MASTER CLOSET	8-6		GPYBRD PAINT	GPYBRD PAINT	B-1	--	CS1, WS1	-
	HALL 1	8-6		GPYBRD PAINT	GPYBRD PAINT	B-1	--	CS1, WS1	-
	COAT CLOS.	8-6		GPYBRD PAINT	GPYBRD PAINT	B-1	--	CS1, WS1	-
	LAUNDRY	8-6		GPYBRD PAINT	GPYBRD PAINT	TB-2	--	CS1, WS1	-
	POWDER	VARIES		GPYBRD PAINT	GPYBRD PAINT	TB-2	--	CS1, WS1	-
2nd FLOOR	GARAGE	10-1		GPYBRD PAINT	5/8" TYPE "X" GPYBRD PAINT	B-2	--	CS1, WS1	-
	HALL 2	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	C-2	CS1, WS1	-
	BED 2	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	C-2	CS1, WS1	-
	CLO 2	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	--	CS1, WS1	-
	BATH 2	9-1		GPYBRD PAINT	GPYBRD PAINT	TB-2	C-2	CS1, WS1	-
	BED 3	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	C-2	CS1, WS1	-
	CLO 3	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	--	CS1, WS1	-
	BATH 3	9-1		GPYBRD PAINT	GPYBRD PAINT	TB-2	C-2	CS1, WS1	-
	BED 4	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	--	CS1, WS1	-
	CLO 4	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	--	CS1, WS1	-
	LINEN 2	9-1		GPYBRD PAINT	GPYBRD PAINT	B-2	--	CS1, WS1	-

NOTES: - ALL BATHROOMS AND LAUNDRY ROOMS TO HAVE WATER, MOLD, AND MILDEW RESISTANT GYPBOARD
- WINDOW STOOL "D" AT ALL WINDOWS



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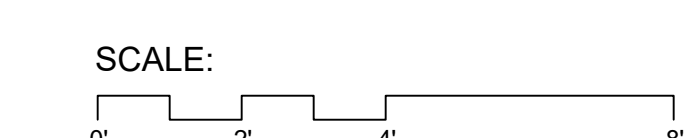
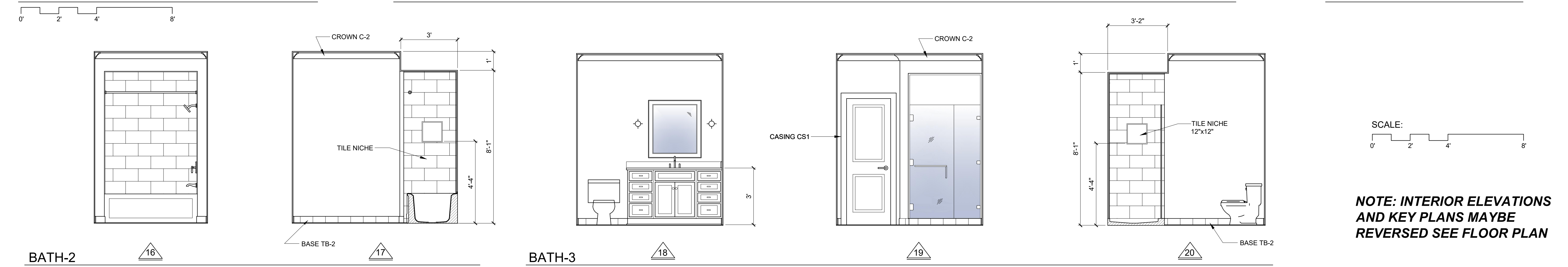
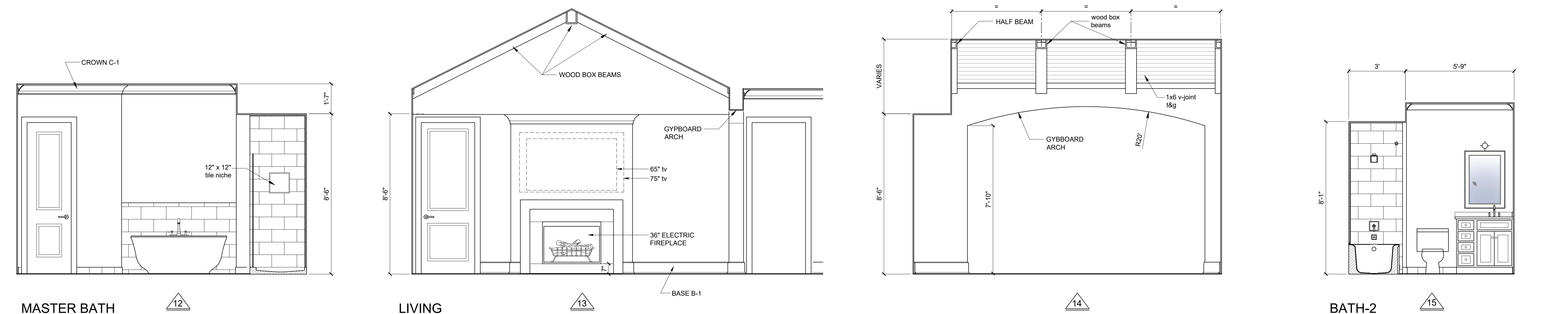
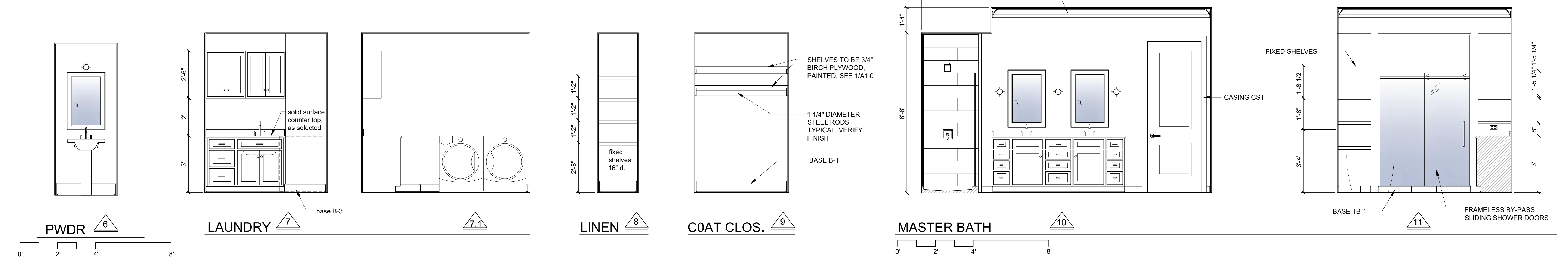
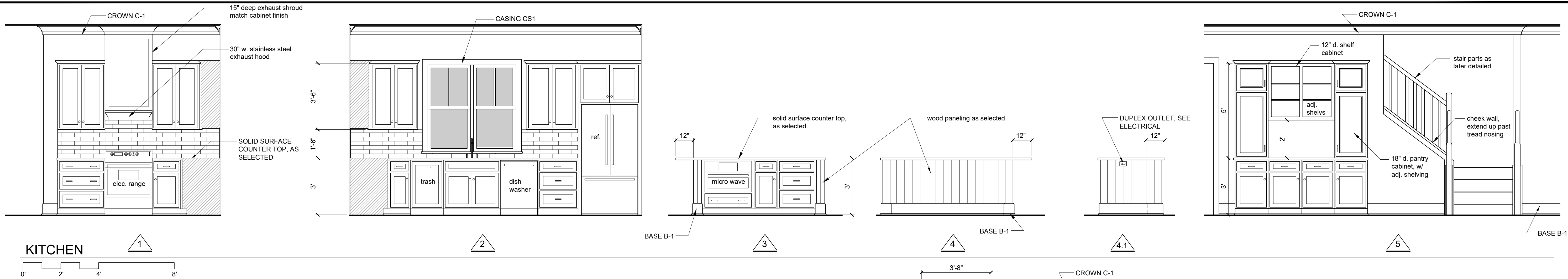


FIFTY OAKS - UNIT A
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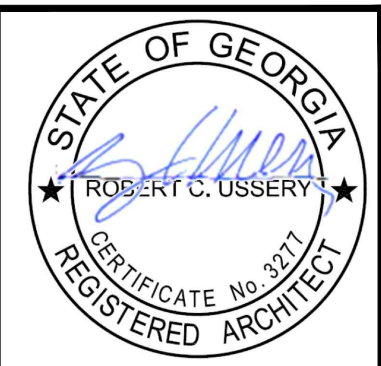
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NOTE: INTERIOR ELEVATIONS
AND KEY PLANS MAYBE
REVERSED SEE FLOOR PLAN

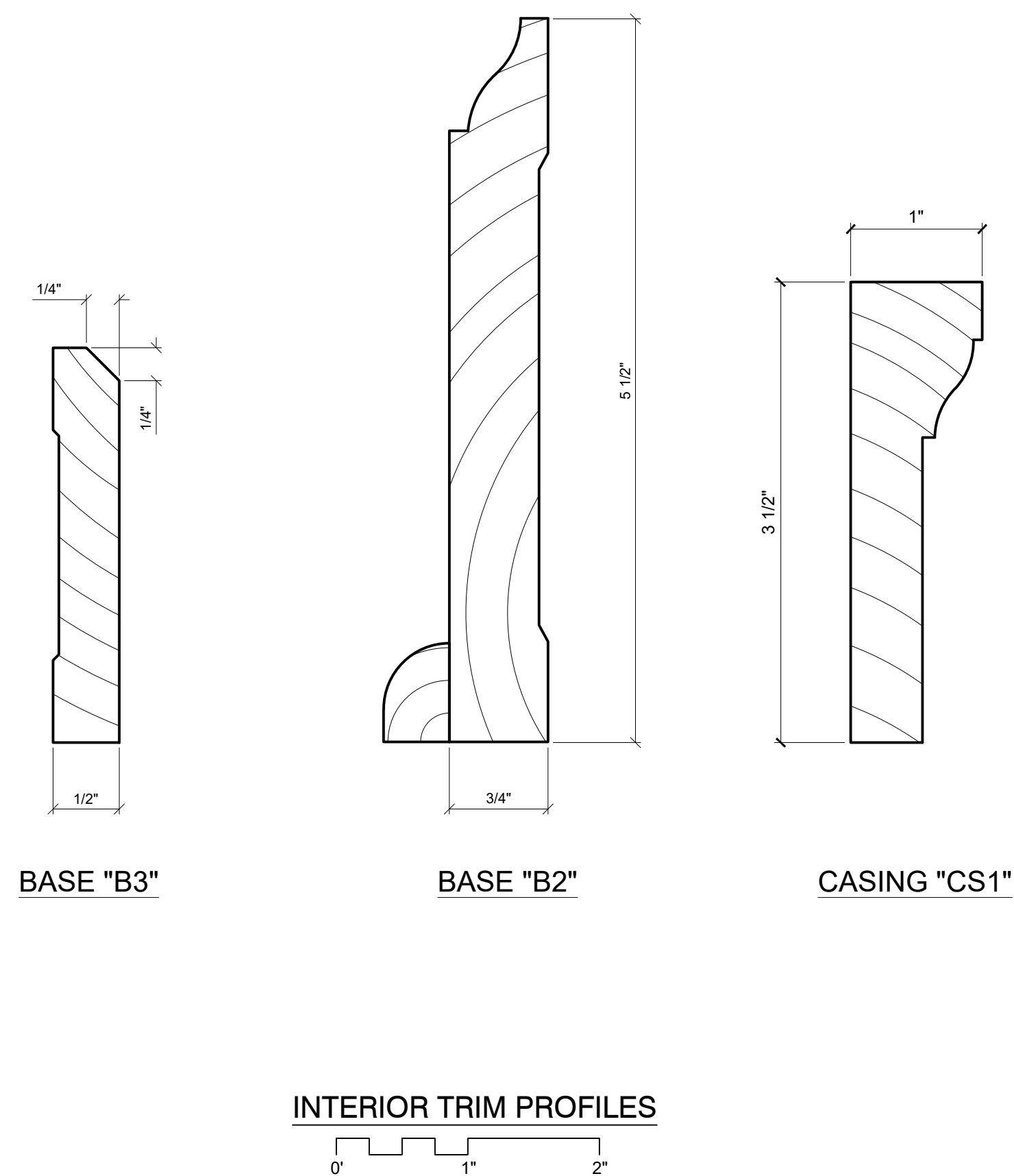
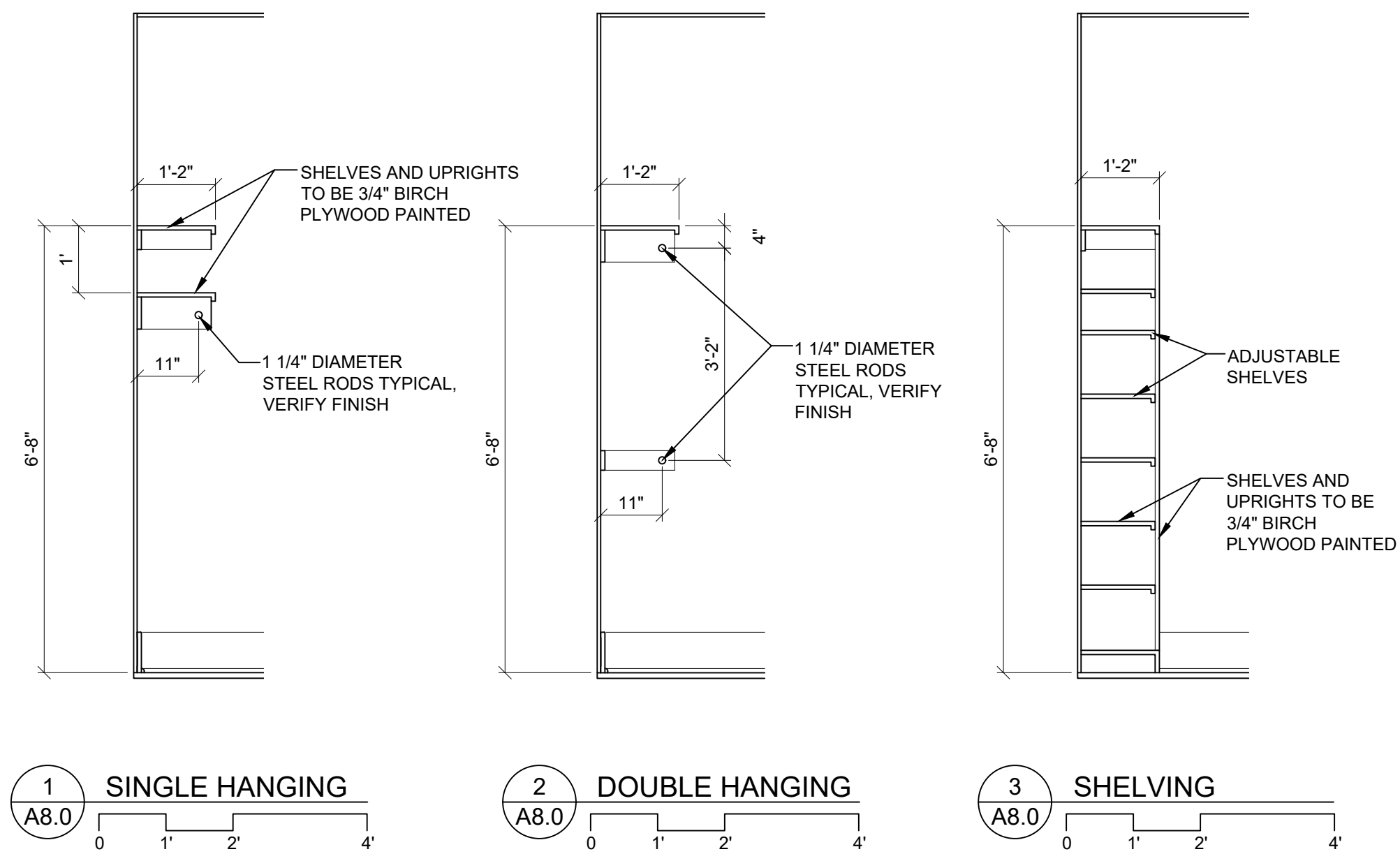
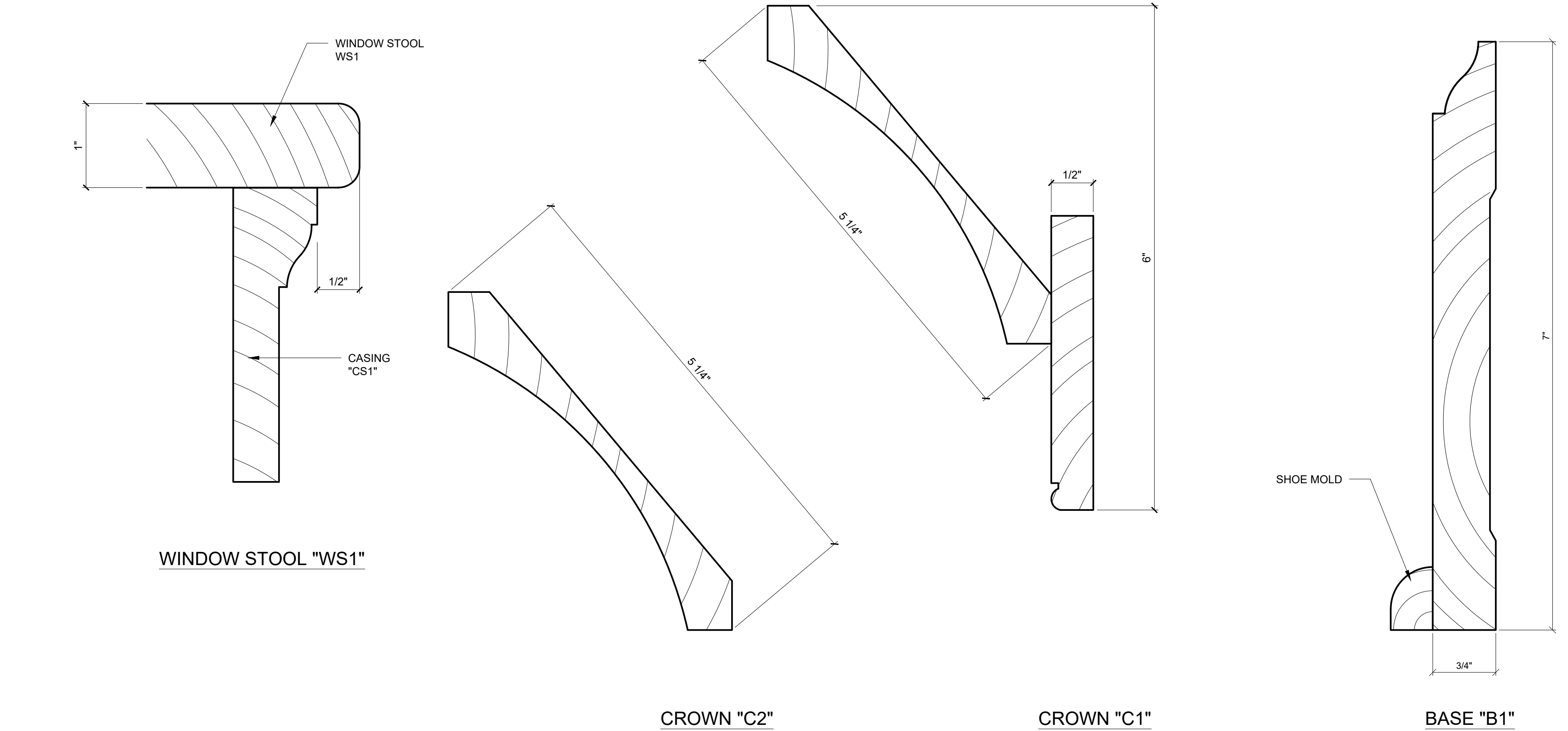


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