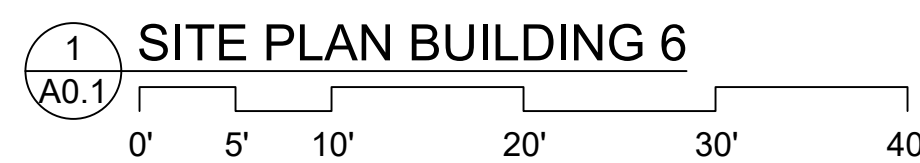
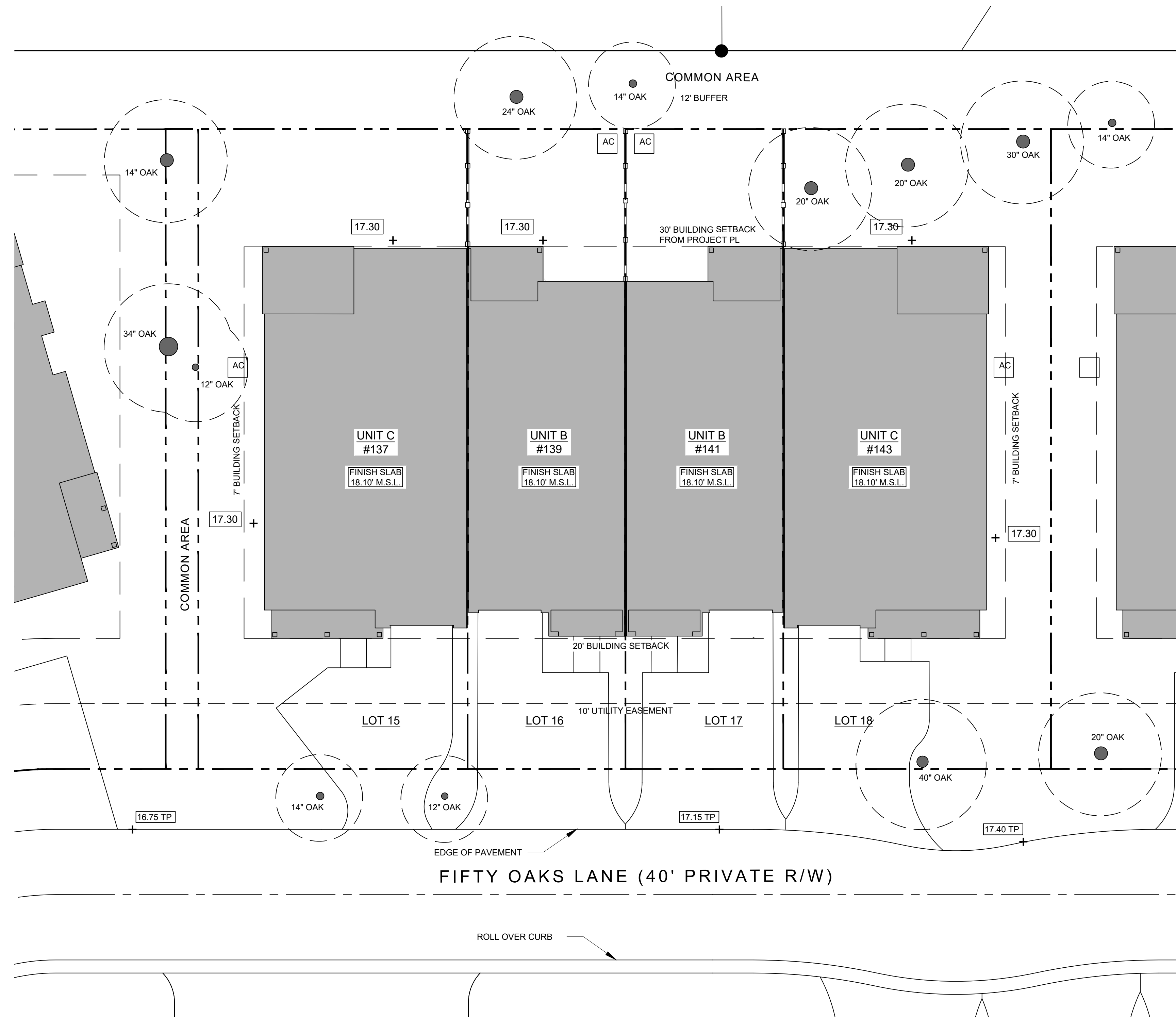


VICINITY MAP N.T.S.



1 SITE PLAN BUILDING 6
A0.1

NOTES:

SEE PLAT BY SHUPE SURVEYING COMPANY FOR BOUNDARY DATA AND LOT CONFIGURATION.

FINISHED SLAB ELEVATIONS ARE BASED ON TOP OF PAVEMENT ELEVATIONS (T.P.) AND TOP OF CURB (T.C.) AS SHOWN ON THE CIVIL DRAINAGE PLAN DATED 4/30/20. **VERIFY.**

+ 1.00 INDICATES FINISHED GRADE ELEVATIONS

GENERAL NOTES:

- ZONING:**
THIS PROJECT IS ZONED PD.

PROJECT DESCRIPTION: PART OF A 54 UNIT ROWHOUSE DWELLING AND ONE FAMILY ATTACHED DWELLING PROJECT REGULATED BY THE RED BARN DEVELOPMENT TEXT AS REVISED JAN. 30th 2009.
- SURVEY DATA TAKEN FROM PRELIMINARY PLAT BY SHUPE SURVEYING COMPANY, P.C., 3837 DARIEN HIGHWAY, BRUNSWICK, GA 31525. DATED 12/20/17.
- ACCORDING TO F.I.R.M. MAP NO. 13127C, PANEL 0234H & 0253H, DATED 01/05/18, INDICATES THIS PROPERTY SHOWN ON THIS PLAT LIES WITHIN ZONE 'X'(UNSHADED), WHICH IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.
- TO PREVENT CONFLICTS, CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES IN CONSTRUCTION AREAS LOCATED PRIOR TO BEGINNING CONSTRUCTION AND EXERCISE EXTREME CAUTION WHEN DIGGING IN THESE AREAS.
- ALL COMMON AREA WITHIN THE DEVELOPMENT SHALL REMAIN PRIVATE AND BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- BUILDING HEIGHT:** MAXIMUM ALLOWED = 35 FT. PROPOSED BUILDING 5 = APPROXIMATELY 33' - 6"
- OWNER / DEVELOPER:**
FIFTY OAKS GROUP, LLC
- ARCHITECT:**
USSERY - RULE ARCHITECTS, P.C.
1804-A FREDERICA ROAD
ST. SIMONS ISLAND, GA 31522
(912) 638-6688

CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

1. APPLICABLE CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- NFPA 70
- NEC 2017

2. WIND LOADING:

- DESIGN WIND SPEED: 130 MPH (3-SEC GUST) IRC R301.2(5)A
- EXPOSURE CATEGORY: C IRC R301.2.1.4(2)
- WINDBORNE DEBRIS REGION: WITHIN (1) MILE OF COASTAL MEAN HIGH WATER

3. PROTECTION OF OPENINGS:

- IMPACT RESISTANT EXTERIOR GLAZING REQUIRED IN WIND BORNE DEBRIS REGIONS

4. TOWNHOUSE REQUIREMENTS:

- COMMON WALL SHALL BE 2-HOUR RATED, W/ NO PLUMBING OR MECHANICAL PENETRATIONS. IRC R302.2

5. MISC. CODE REQUIREMENTS:

- A. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF APPLICABLE CODES
- B. GARAGE CEILING SHALL HAVE 5/8" TYPE-X GYPBOARD IRC R302.6
- C. GARAGE SEPARATION FROM THE RESIDENCE SHALL BE NOT LESS THAN 1/2" GYPBOARD
- D. EMERGENCY ESCAPE & RESCUE OPENINGS REQUIRED IN ALL SLEEPING ROOMS. NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ/FT. MAXIMUM SILL HEIGHT OF 44 IN.

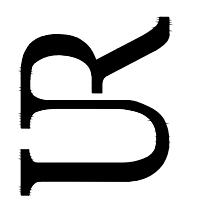
SHEET INDEX

A0.1	SITE PLAN
A1.1	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
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A6.1	WALL SECTIONS
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E.1	FIRST FLOOR ELECTRICAL PLAN
E.2	SECOND FLOOR ELECTRICAL PLAN

correct unit numbers
add utility easement



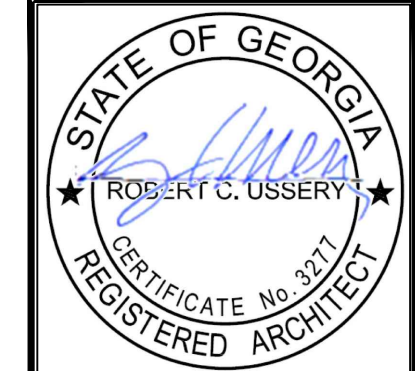
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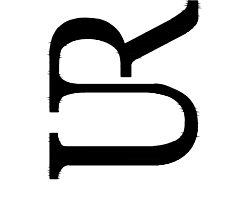
FIFTY OAKS - BUILDING 6
South Harrington Road
St. Simons Island, Georgia

1622
10-21-22
11-29-22

A0.1



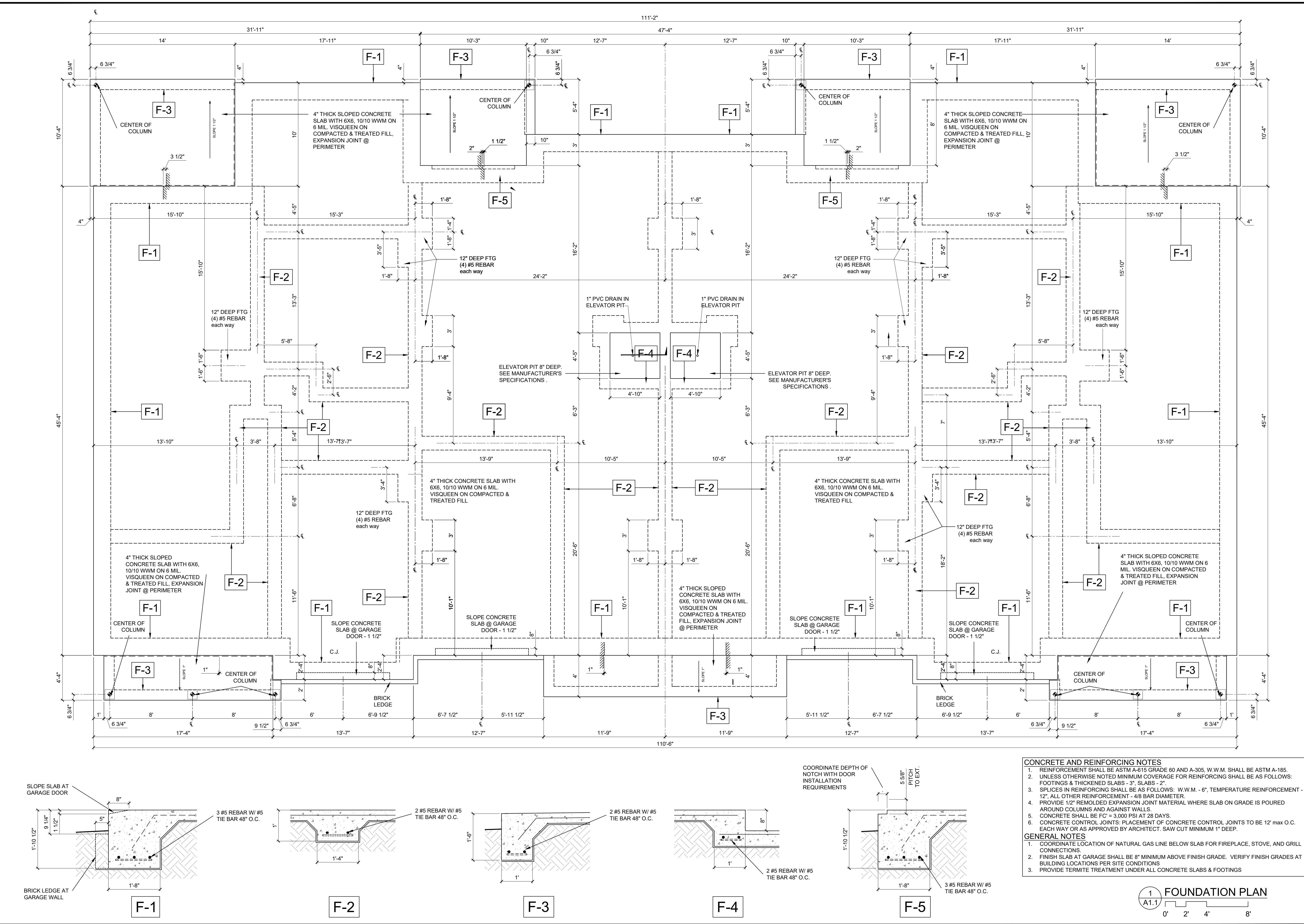
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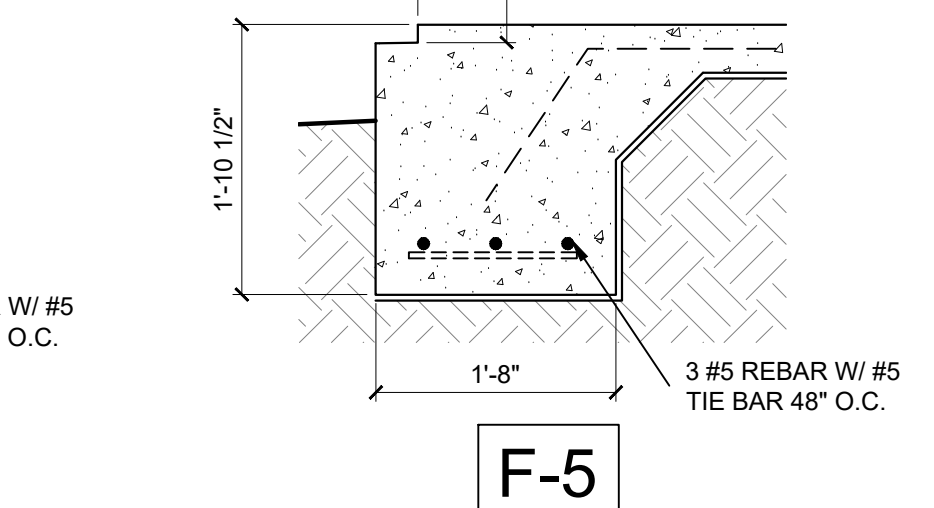
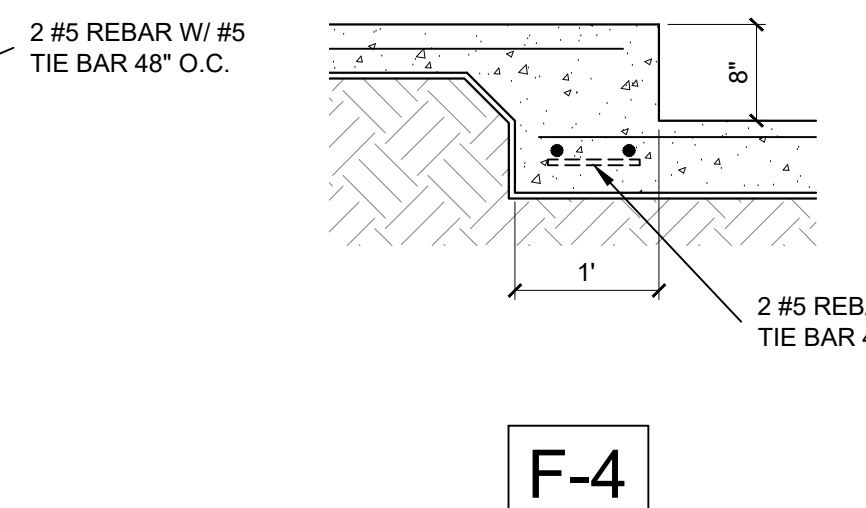
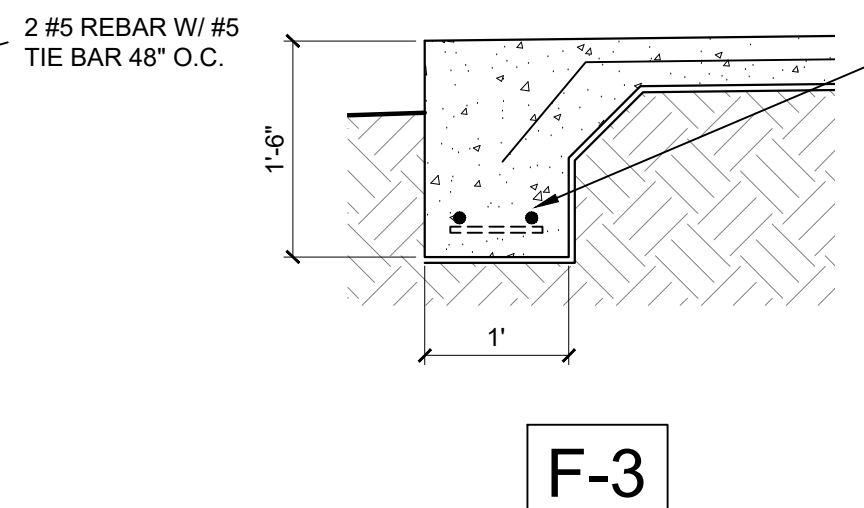
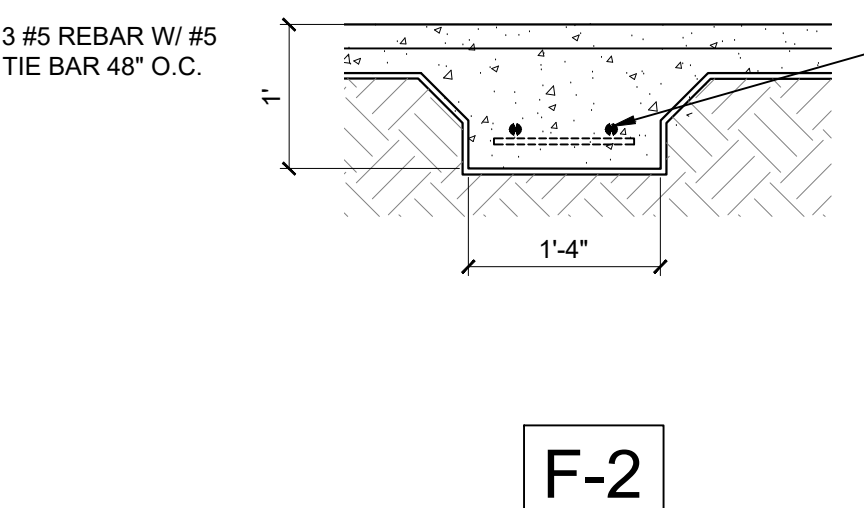
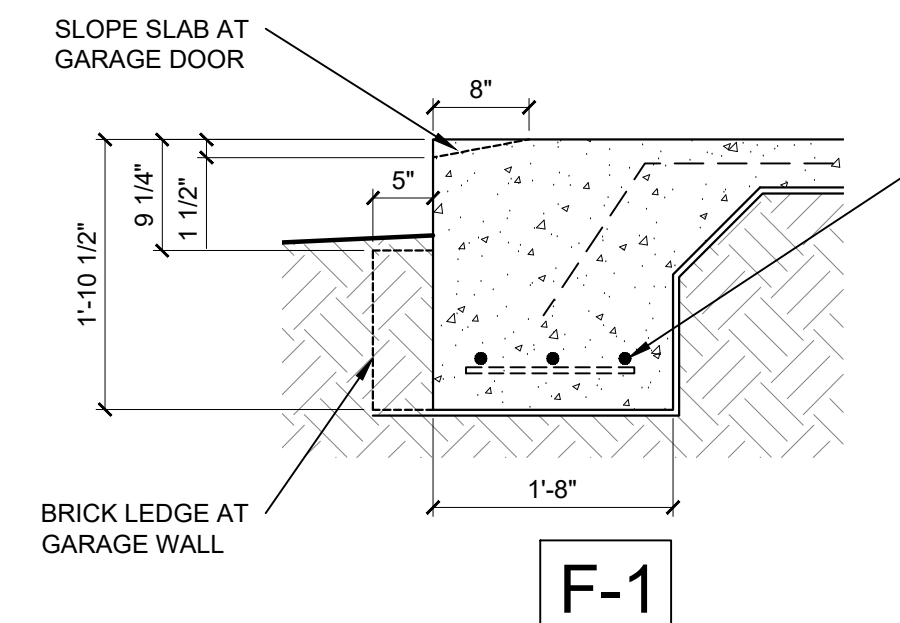
FIFTY OAKS - BUILDING 6
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 10-21-22

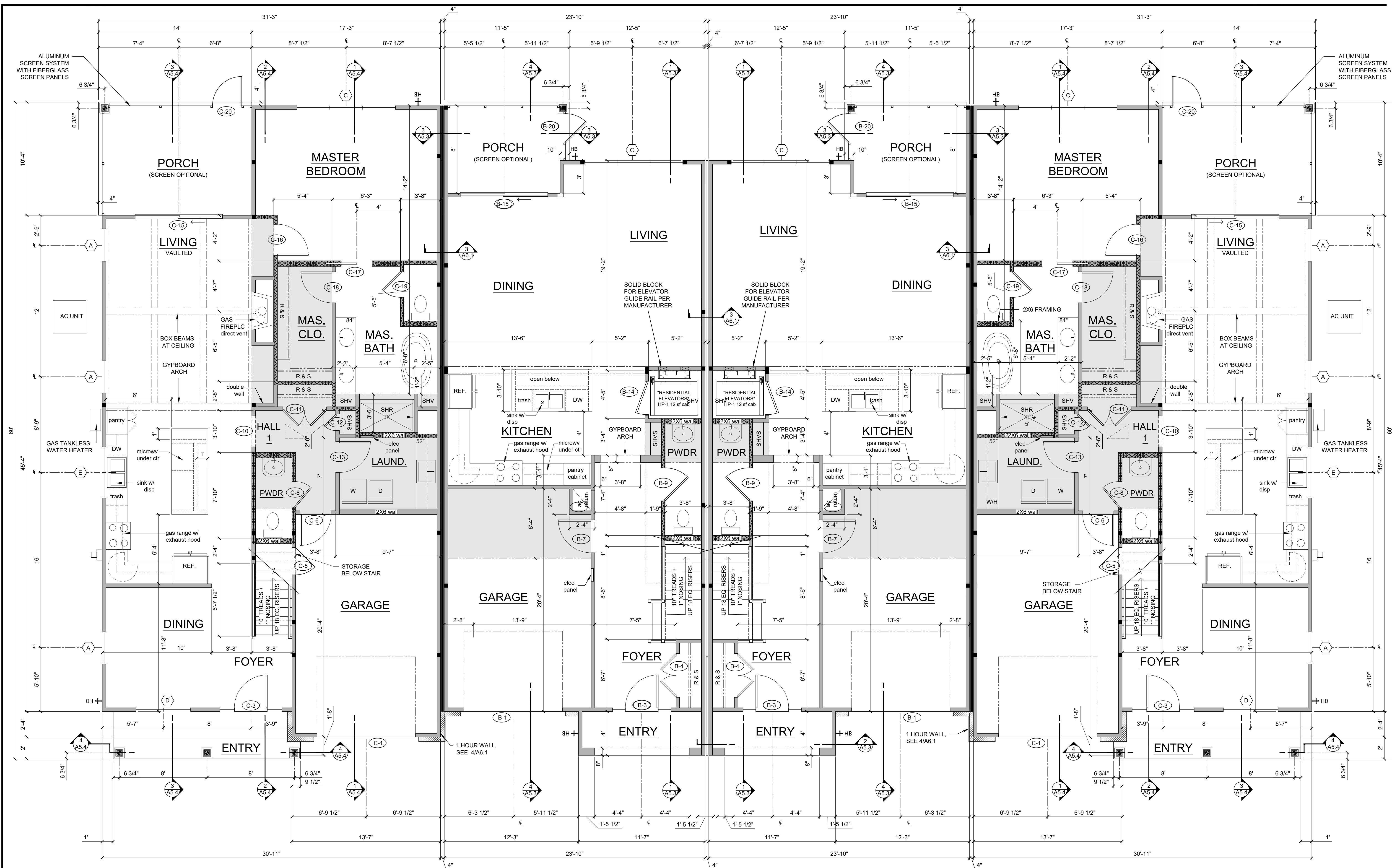
A1.1



- CONCRETE AND REINFORCING NOTES**
1. REINFORCEMENT SHALL BE ASTM A-615 GRADE 60 AND A-305, W.W.M. SHALL BE ASTM A-185.
 2. UNLESS OTHERWISE NOTED MINIMUM COVERAGE FOR REINFORCING SHALL BE AS FOLLOWS: FOOTINGS & THICKENED SLABS - 3", SLABS - 2".
 3. SPLICES IN REINFORCING SHALL BE AS FOLLOWS: W.W.M. - 6", TEMPERATURE REINFORCEMENT - 12". ALL OTHER REINFORCEMENT - 4/8 BAR DIAMETER.
 4. PROVIDE 1/2" REMOLDED EXPANSION JOINT MATERIAL WHERE SLAB ON GRADE IS POURED AROUND COLUMNS AND AGAINST WALLS.
 5. CONCRETE SHALL BE $f'_c = 3,000$ PSI AT 28 DAYS.
 6. CONCRETE CONTROL JOINTS: PLACEMENT OF CONCRETE CONTROL JOINTS TO BE 12' max O.C. EACH WAY OR AS APPROVED BY ARCHITECT. SAW CUT MINIMUM 1" DEEP.
- GENERAL NOTES**
1. COORDINATE LOCATION OF NATURAL GAS LINE BELOW SLAB FOR FIREPLACE, STOVE, AND GRILL CONNECTIONS.
 2. FINISH SLAB AT GARAGE SHALL BE 8" MINIMUM ABOVE FINISH GRADE. VERIFY FINISH GRADES AT BUILDING LOCATIONS PER SITE CONDITIONS.
 3. PROVIDE TERMITE TREATMENT UNDER ALL CONCRETE SLABS & FOOTINGS.



1 FOUNDATION PLAN
 A1.1
 0' 2' 4' 8'



UNIT - C SQUARE FEET
137 H and C- 2,099 s.f.
 GARAGE- 277 s.f.
 PORCHES- 219 s.f.
 TOTAL- 2,595 s.f.

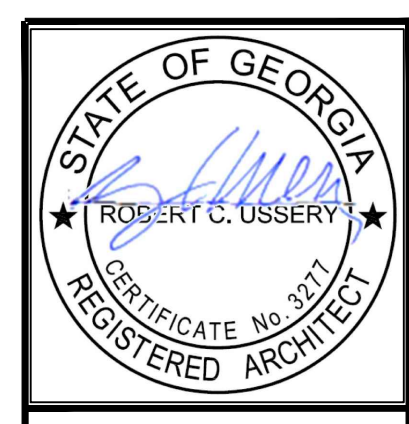
UNIT - B SQUARE FEET
139 H and C- 2,188 s.f.
 GARAGE- 281 s.f.
 PORCHES- 139 s.f.
 TOTAL- 2,608 s.f.

UNIT - B SQUARE FEET
141 H and C- 2,188 s.f.
 GARAGE- 281 s.f.
 PORCHES- 139 s.f.
 TOTAL- 2,608 s.f.

UNIT - C SQUARE FEET
143 H and C- 2,099 s.f.
 GARAGE- 277 s.f.
 PORCHES- 219 s.f.
 TOTAL- 2,595 s.f.

- LEGEND**
- 2X4 FRAMING STUD WALL, UNLESS NOTED OTHERWISE
 - ▨ INDICATES DROP SOFFIT OR CEILING AT 8'-2" TO FRAME
 - ▤ INDICATES SOUND INSULATION IN WALL
 - INDICATES BEAM BEARING POINT; PROVIDE POST CONTINUOUS TO BOTTOM OF BEAM SEE FRAMING PLANS AND SECTIONS

1 FIRST FLOOR PLAN
 A2.1
 0' 2' 4' 8'



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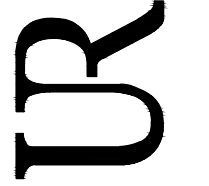
FIFTY OAKS - BUILDING 6
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1622
10-21-22

A2.1



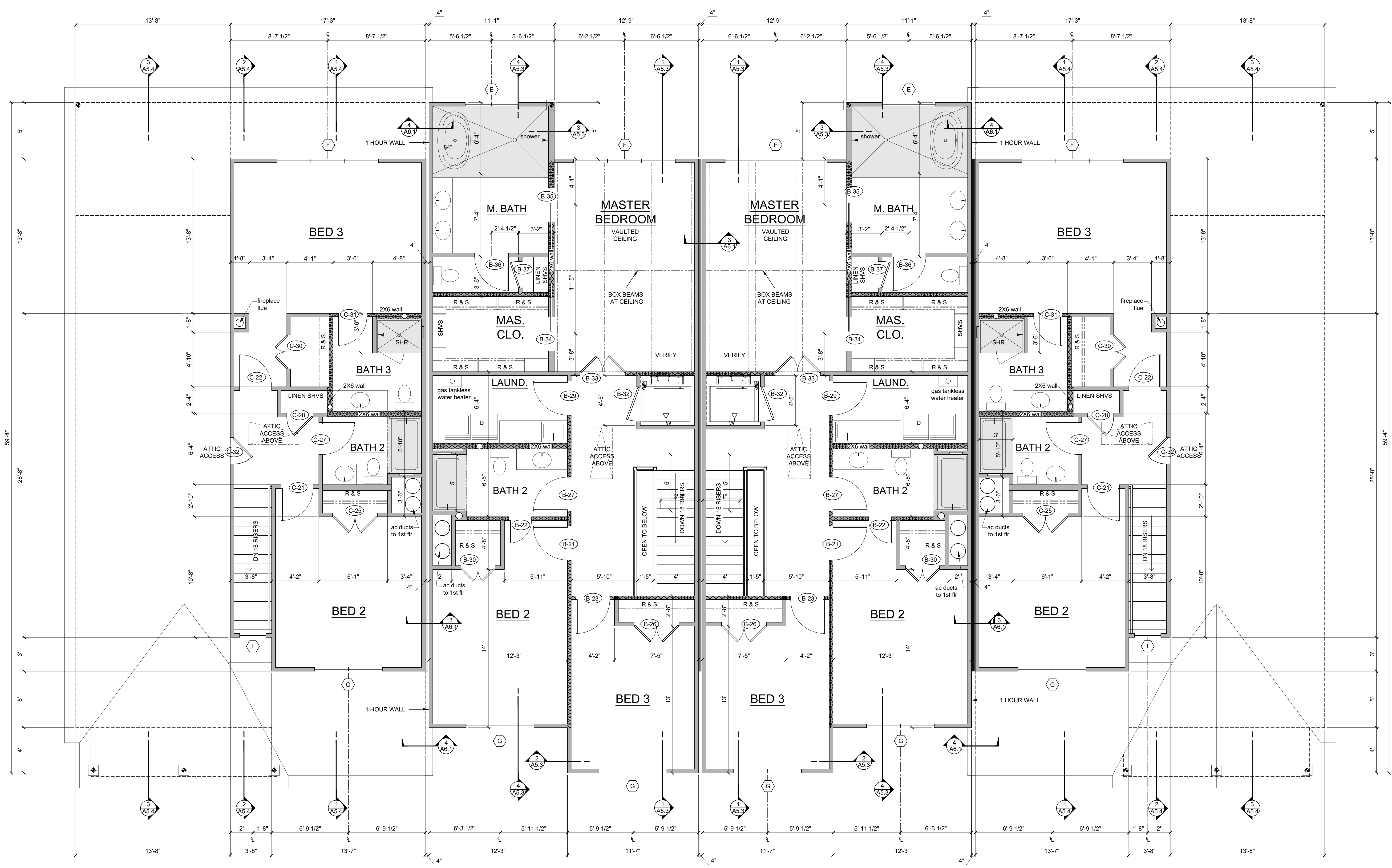
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A2.2





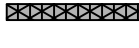

UNIT - C
137

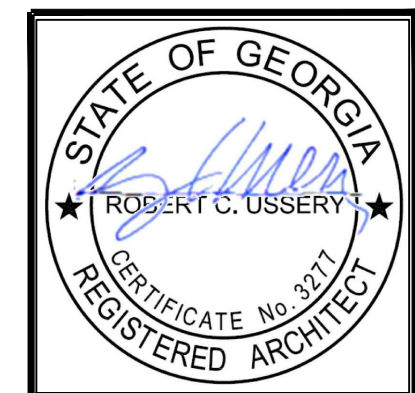
UNIT - B
139

UNIT - B
141

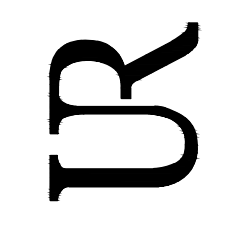
UNIT - C
143

SECOND FLOOR PLAN
 0' 2' 4' 8'

- LEGEND**
-  2X4 FRAMING STUD WALL, UNLESS NOTED OTHERWISE
 -  INDICATES DROP SOFFIT CEILING AT 8'-1" FRAME
 -  INDICATES SOUND INSULATION IN WALL
 -  INDICATES BEAM BEARING POINT: PROVIDE POST CONTINUOUS TO BOTTOM OF BEAM SEE FRAMING PLANS AND SECTIONS



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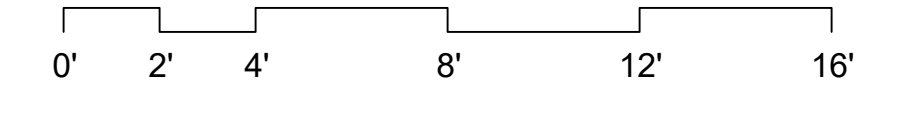
FIFTY OAKS - BUILDING 6
 South Harrington Road
 St. Simons Island, Georgia

1622
 10-15-21

A3.1

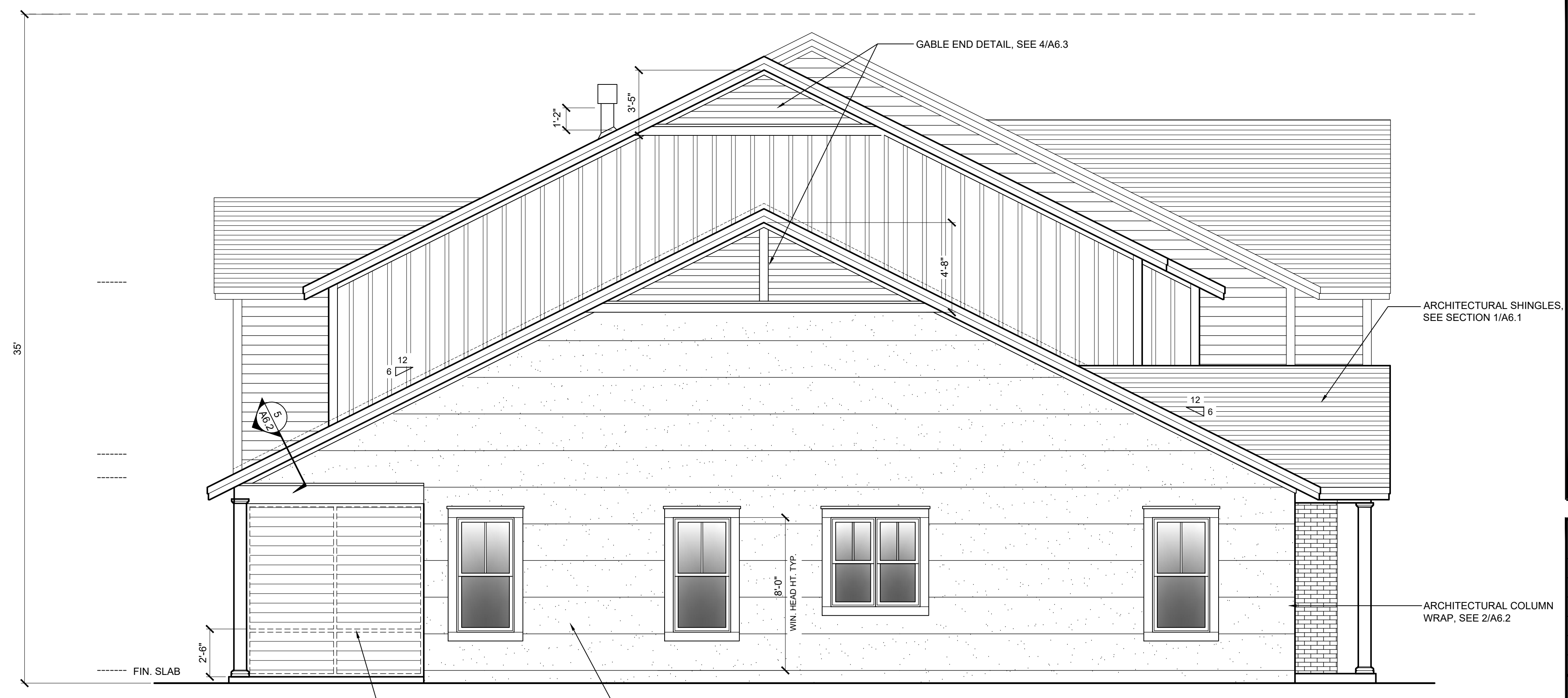


FRONT ELEVATION

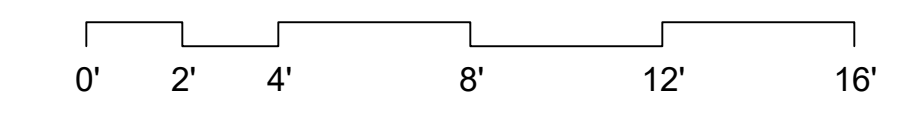


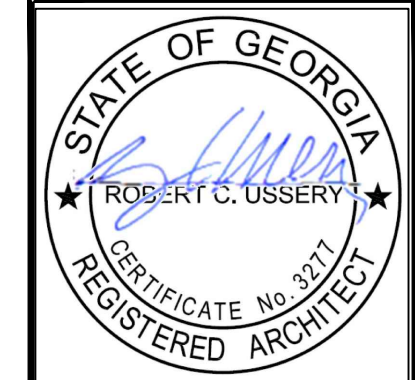
EXTERIOR FINISH LEGEND

<p>2 1/2" X 3/4" HZ10 'HARDITRIM' BOARDS - SMOOTH BATTEN BOARDS, 12" O.C. install per mfg. recommendations, SEE QRT CODE</p> <p>5/4" HZ10 'HARDIPANEL' VERTICAL SIDING, SMOOTH FINISH, INSTALL BEHIND ALL TRIM, install per mfg. recommendations, SEE QRT CODE</p> <p>Painted finish, as selected</p> <p>BOARD & BATTEN SIDING</p>	<p>HARDIE PANEL QRT CODE</p>	<p>HARDIE TRIM - BATTENS QRT CODE</p>
<p>HZ10 'HARDIEPLANK' LAP SIDING, 6" EXPOSURE, SMOOTH FINISH, INSTALL PER MFG. SEE QRT CODE</p> <p>Painted finish, as selected</p> <p>LAP SIDING SIDING</p>	<p>HARDIE LAP QRT CODE</p>	<p>INSIDE CORNER BOARD DETAIL AT HARDIE SIDING</p>
<p>OYSTER SHELL TABBY FINISH, TWO COAT SYSTEM.</p> <p>V-GROOVE SCORE LINES, ± 24" O.C. SPACED EQUALLY, FIELD VERIFY W/ ARCHITECT</p> <p>TABBY SIDING</p>	<p>CORNER BOARD DETAIL AT BOARD & BATTEN</p>	<p>CORNER BOARD DETAIL AT LAP SIDING</p>
<p>BRICK VENEER, AS SELECTED W/ 3/8" MORTAR JOINT. MORTAR COLOR AS SELECTED</p> <p>BRICK VENEER</p>		



LEFT ELEVATION



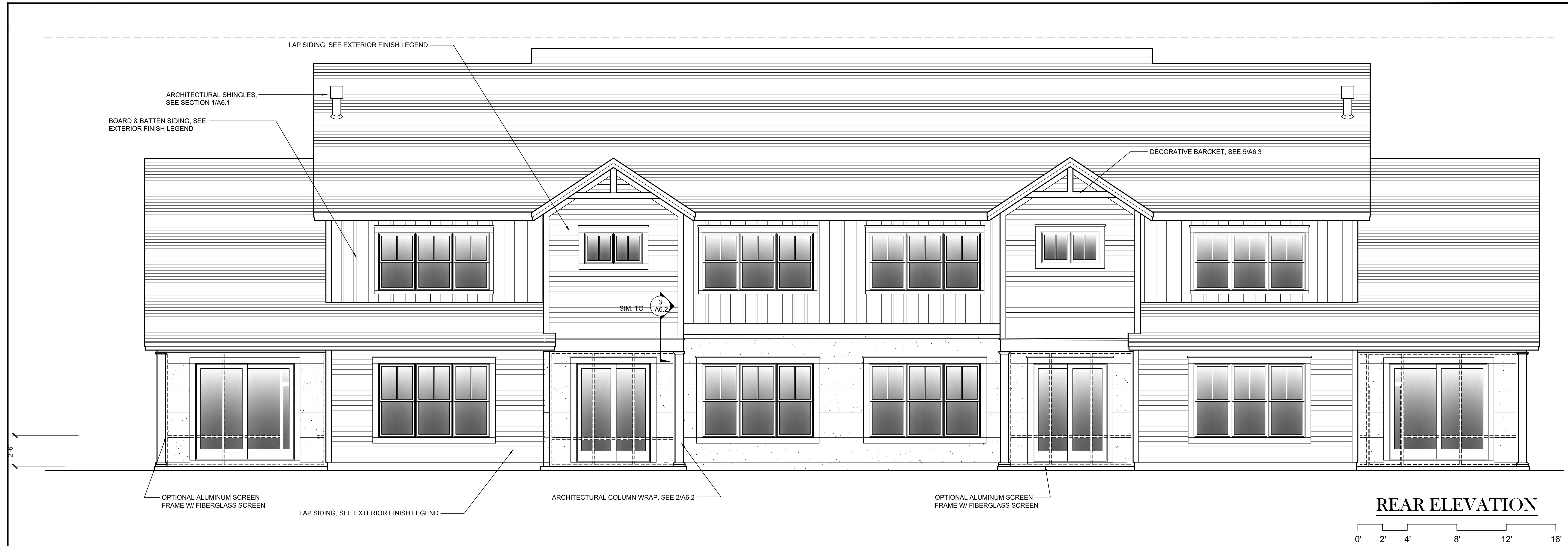


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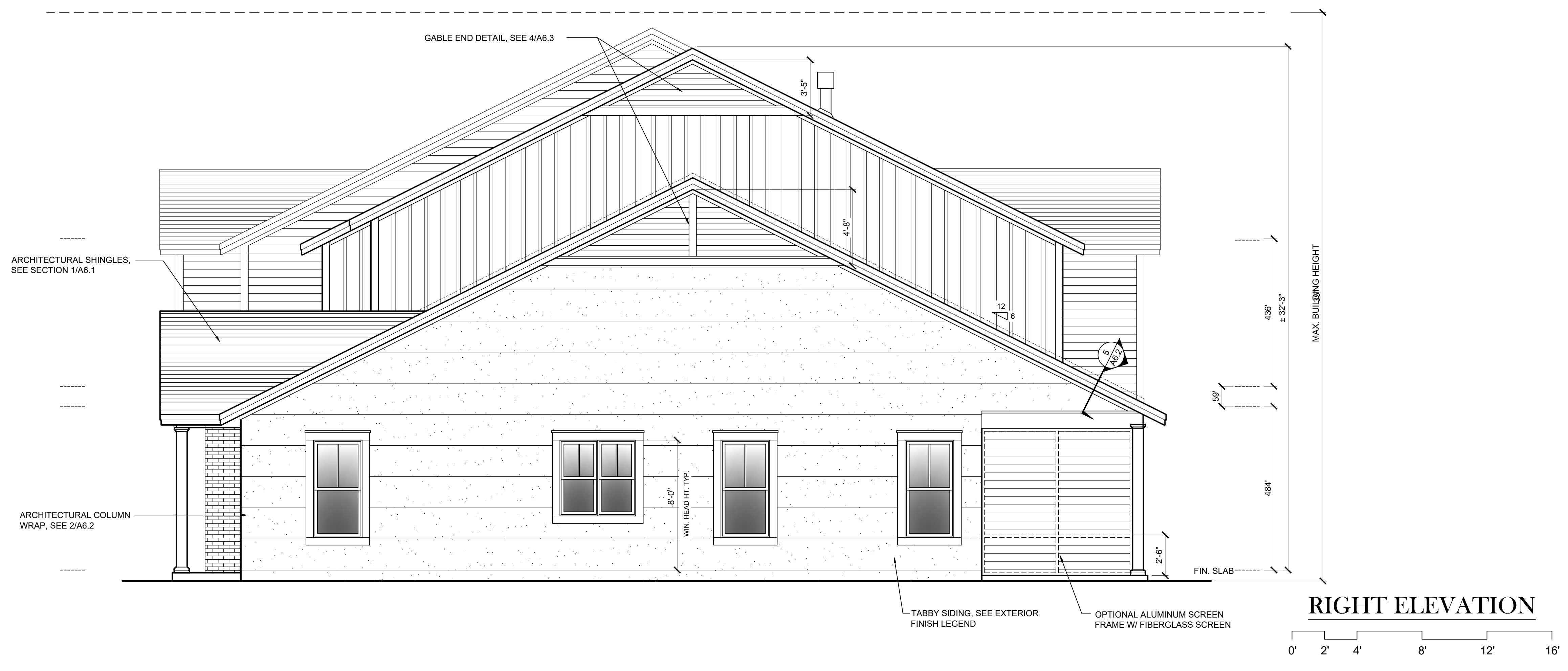
FIFTY OAKS - BUILDING 6
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1622
10-21-15

A3.2



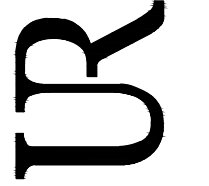
REAR ELEVATION



RIGHT ELEVATION



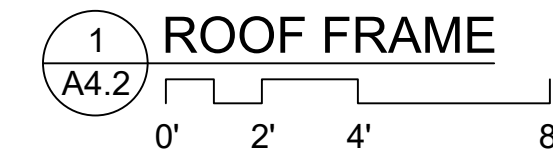
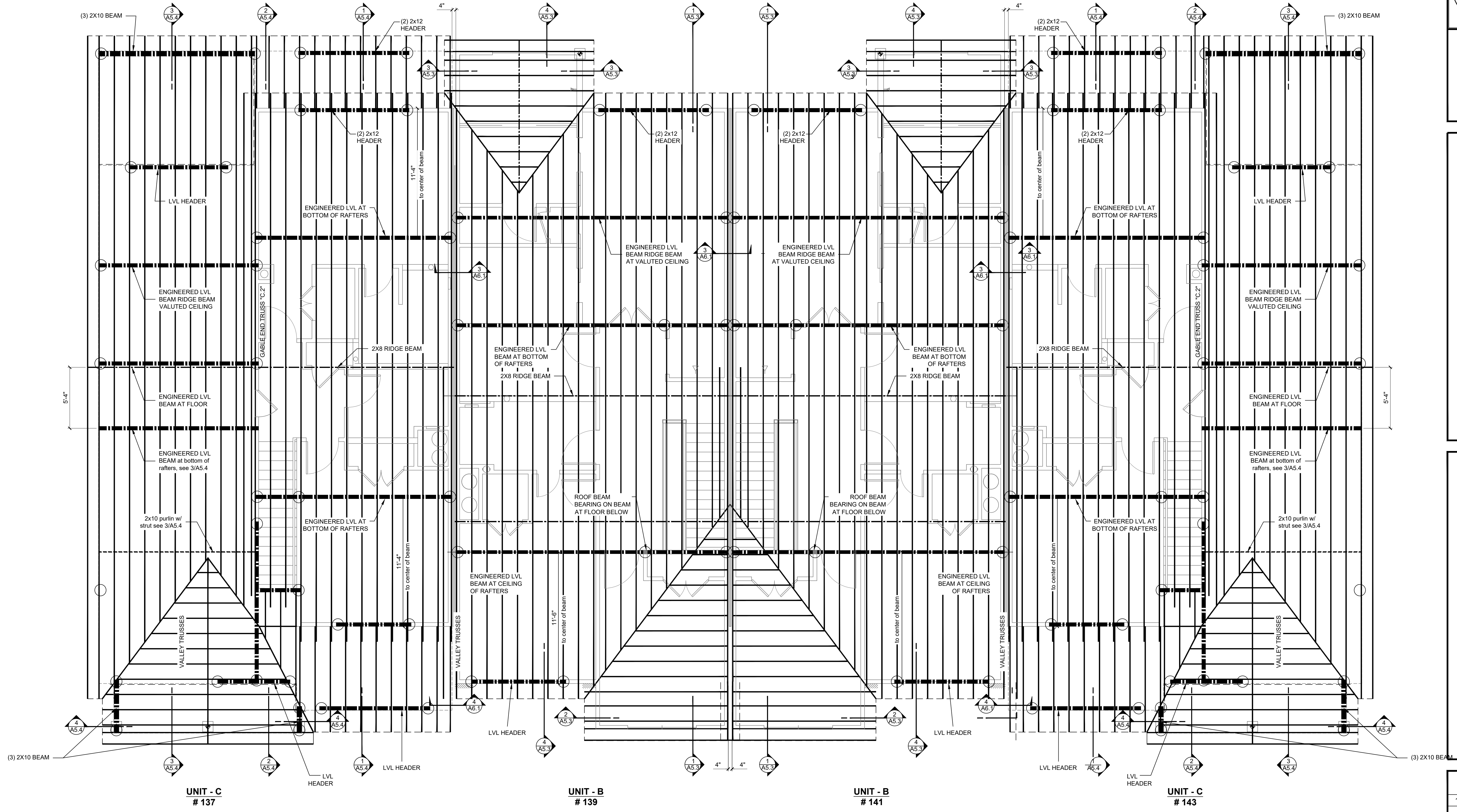
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FIFTY OAKS - BUILDING 6
 South Harrington Road
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1622
10-21-22

A4.2



NOTES:

RAFTERS TO BE 2X8's 16" O.C. UNLESS OTHERWISE NOTED.
 SEE FRAMING SECTIONS FOR ADDITIONAL ROOF BRACING NOTES. NOT ALL ROOF SUPPORTS ARE INDICATED ON ROOF FRAMING PLAN.

INDICATES ENGINEERED LVL BEAM WITH BEARING POINTS UNLESS OTHERWISE NOTED. SEE MANUFACTURER'S SHOP DRAWINGS FOR SIZES



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FIFTY OAKS - Framing Sections
 South Harrington Road
 St. Simons Island, Georgia

1622

6-01-21	9-12-22
9-28-21	
11-30-21	
1-05-22	
2-11-22	
3-4-22	

A5.3

FRAMING NOTES:

WALLS: STUDS: TO BE 2X4'S 16" O.C. OR 2X6'S 16" O.C. AS NOTED ON FLOOR PLAN

FLOOR FRAME: 14" TRUSS JOIST 16" O.C. SEE MANUFACTURER'S SHOP DRAWINGS FOR ADDITIONAL INFORMATION. OTHER FLOOR FRAMING AS NOTED ON FRAMING PLAN.

ROOF FRAME: WOOD FRAMING 16" O.C. DESIGN INTENT ARE INDICATED ON FRAMING SECTIONS.

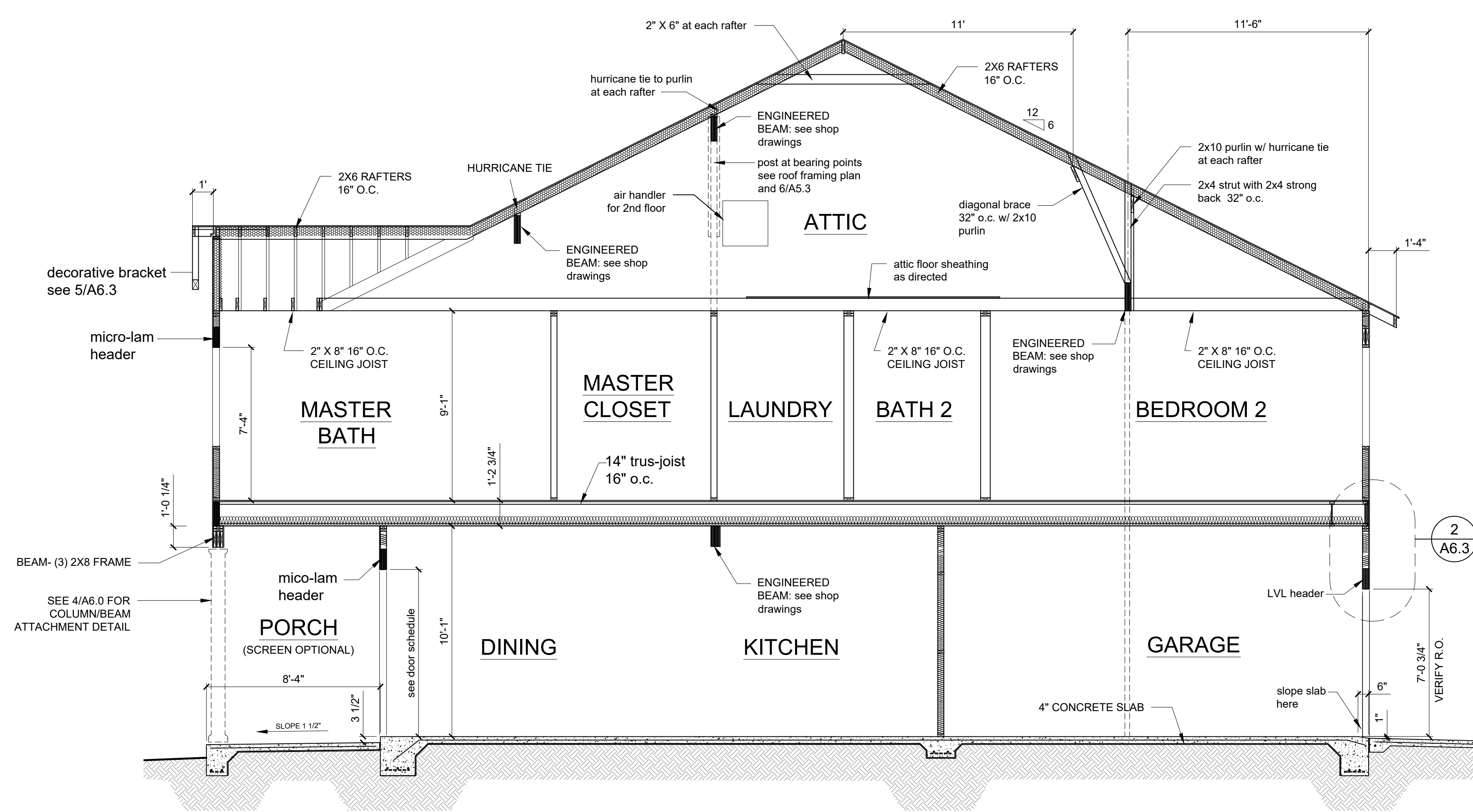
HEADER BEAMS: ALL WINDOW AND DOOR HEADERS OVER 6'-0" TO BE "MICRO-LAM" BEAMS PER MANUFACTURER'S SPECIFICATIONS. HEADERS 6'-0" TO 4'-0" TO MIN (2) 2X12 OTHER HEADERS TO BE MIN (2) 2X10 UNLESS OTHERWISE SPECIFIED.

HURRICANE TIES: SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.

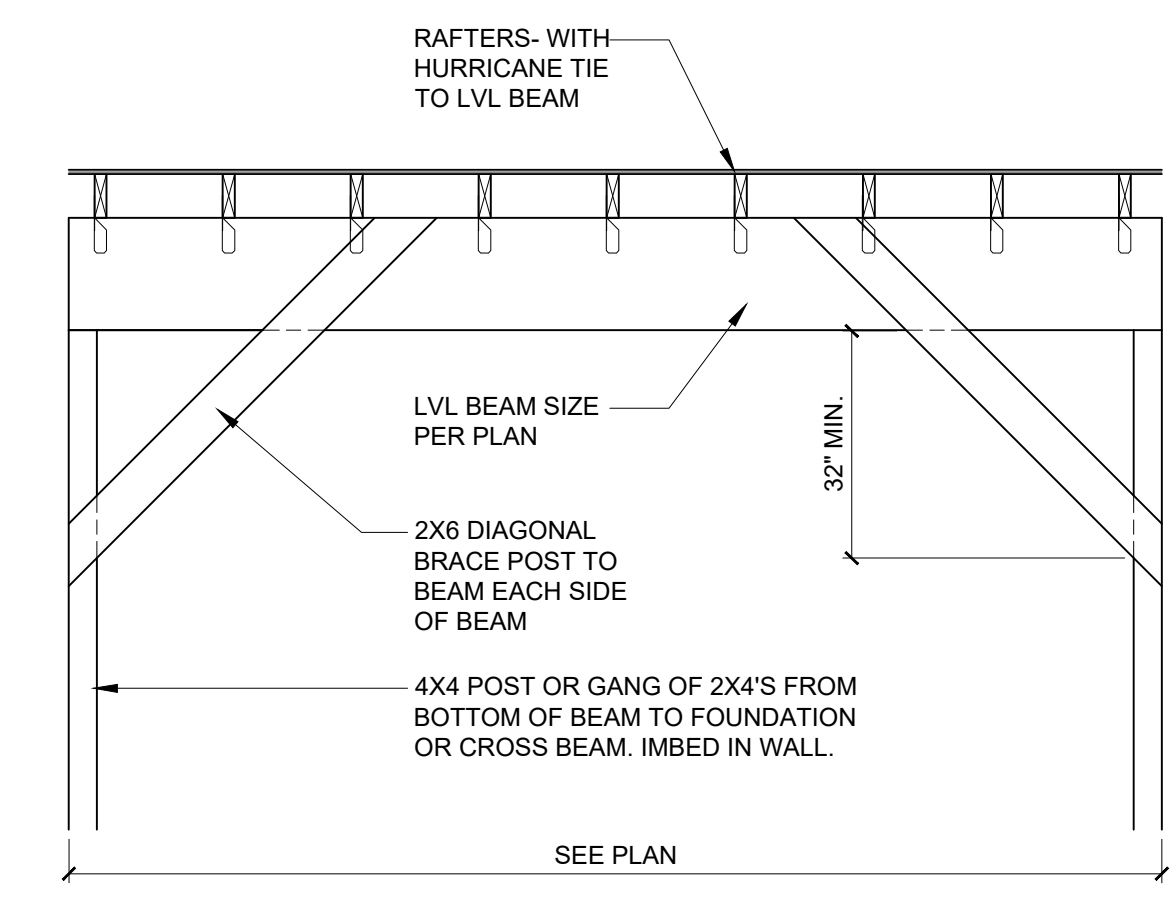
SHOP DRAWINGS: FLOOR FRAME AND LVL BEAM SIZING TO BE SUBMITTED TO ARCHITECT FOR APPROVAL.

MAX RAFTER SPAN: 2X6 16" O.C. - 12'-0"
 2X8 16" O.C. - 15'-0"

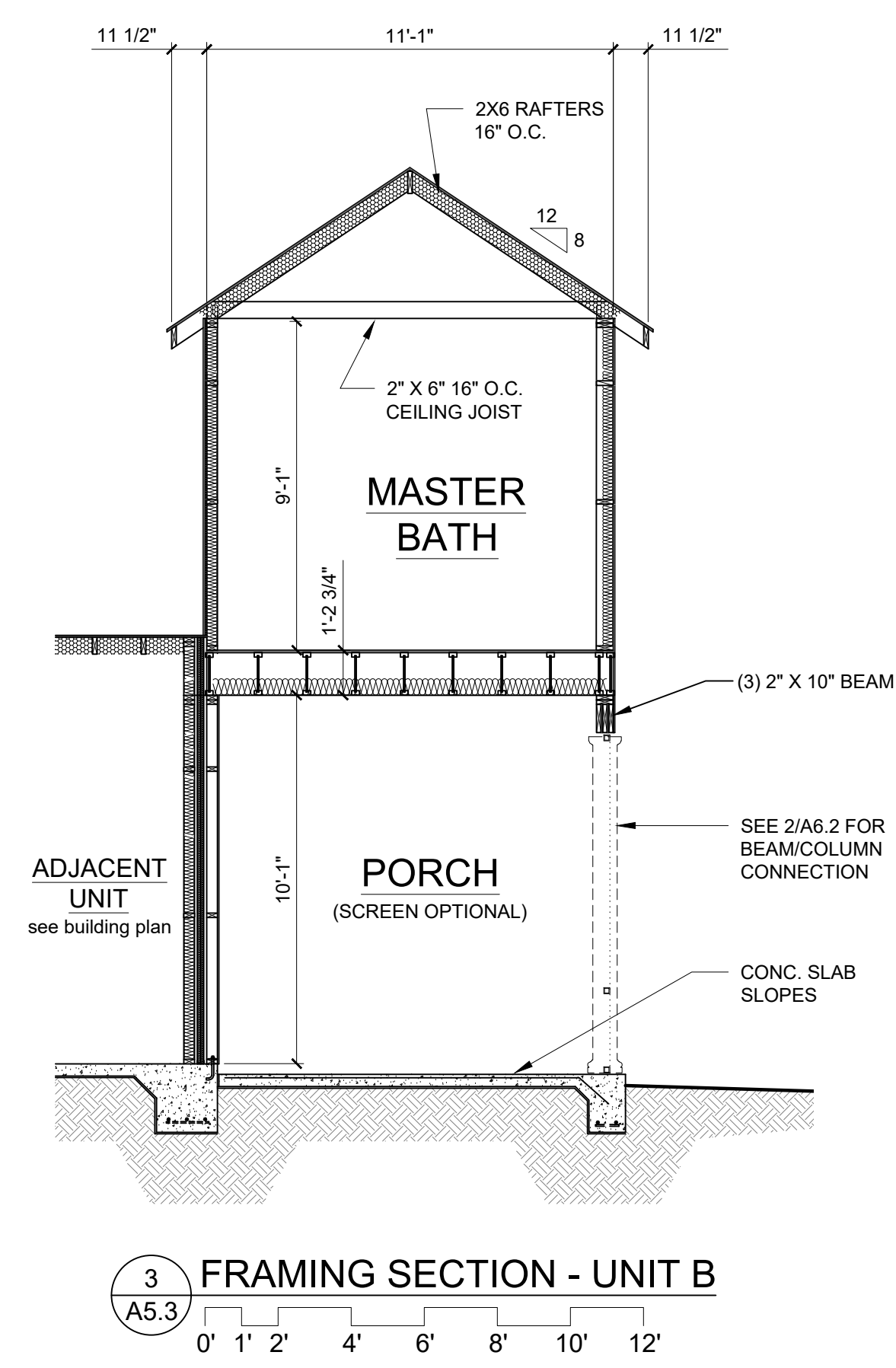
MAX CEILING JOIST SPAN: 2X6 16" O.C. - 12'-0"
 2X8 16" O.C. - 16'-0"



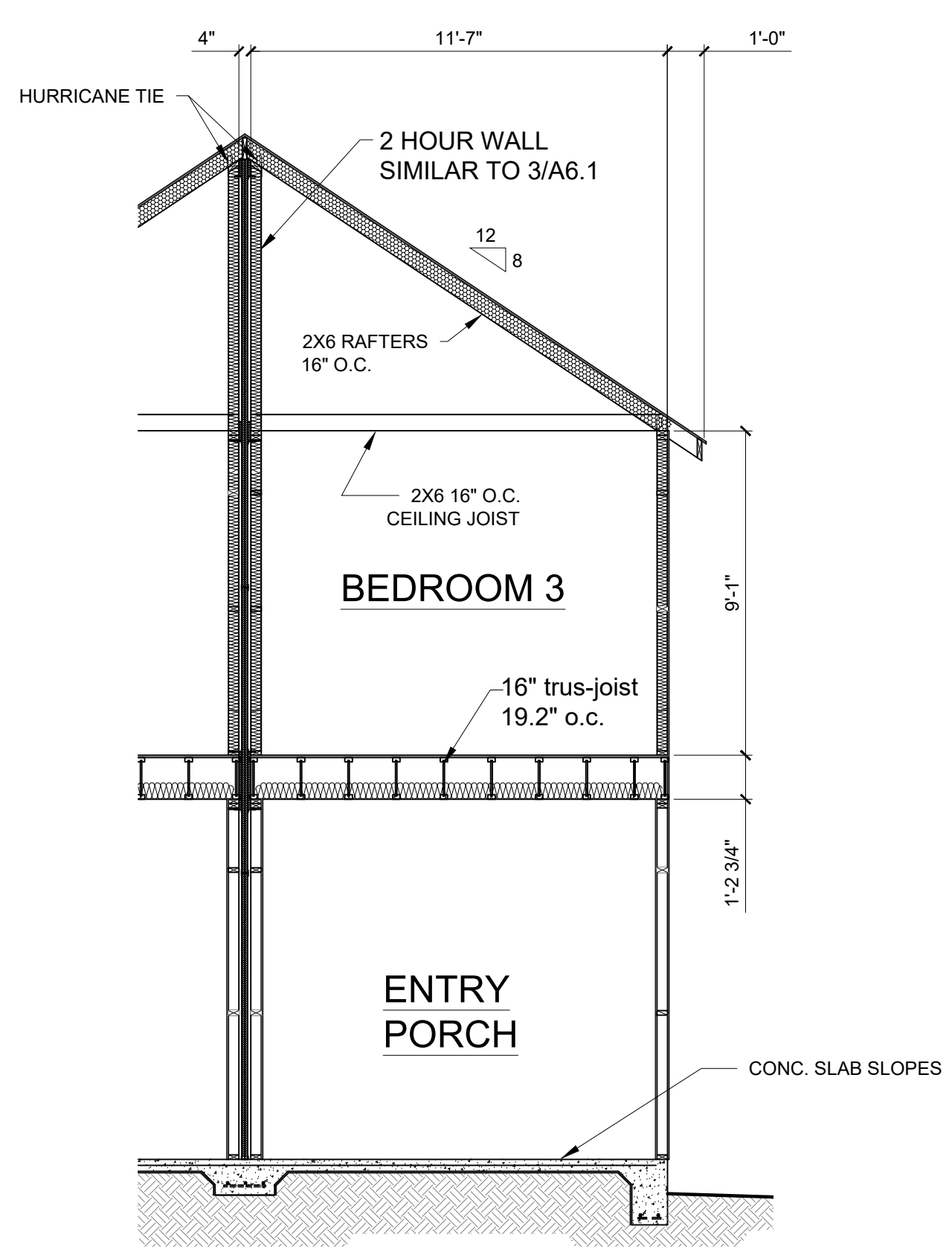
4 FRAMING SECTION - UNIT B
 A5.3



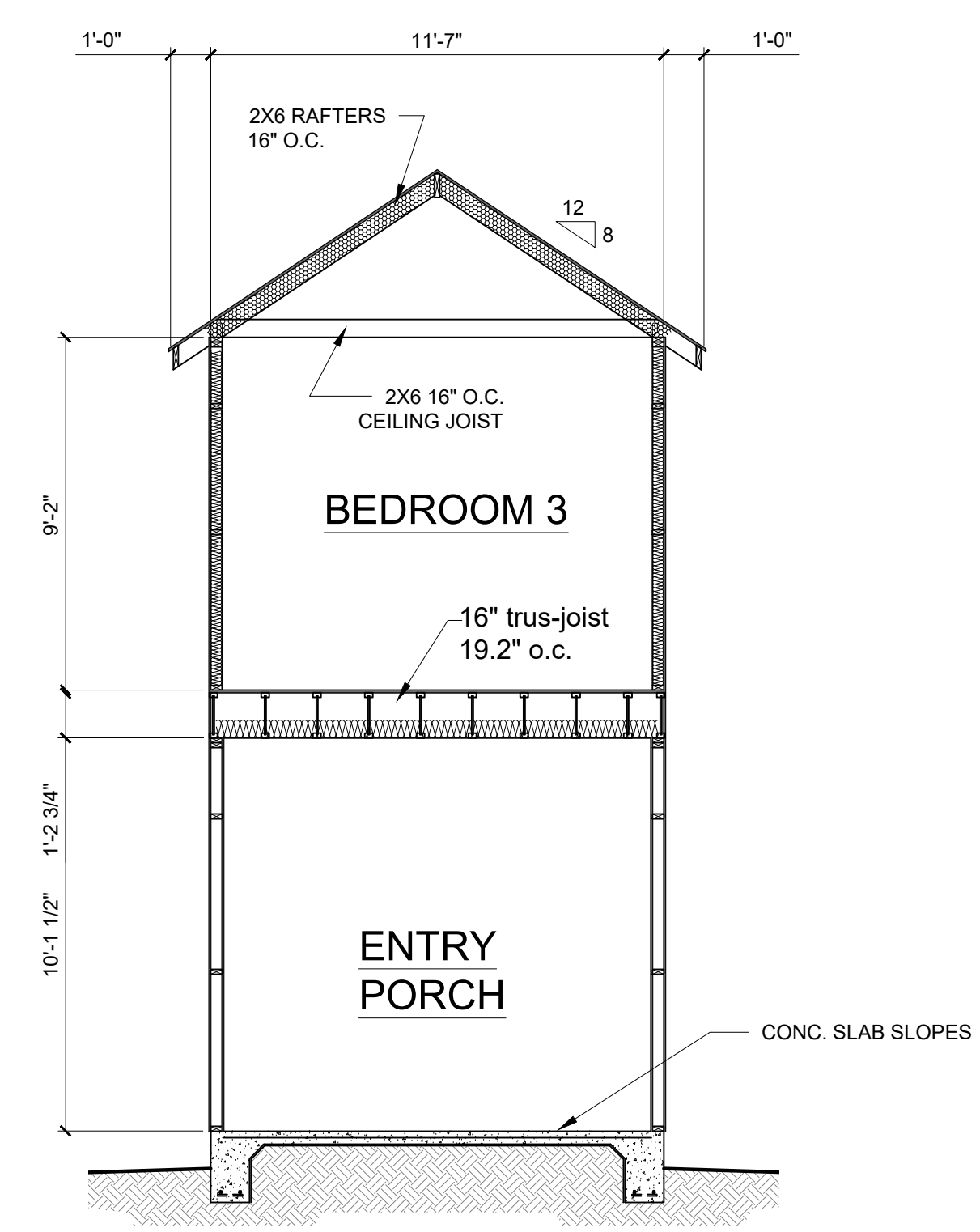
6 ATTIC BEAM DETAIL
 A5.3 not to scale



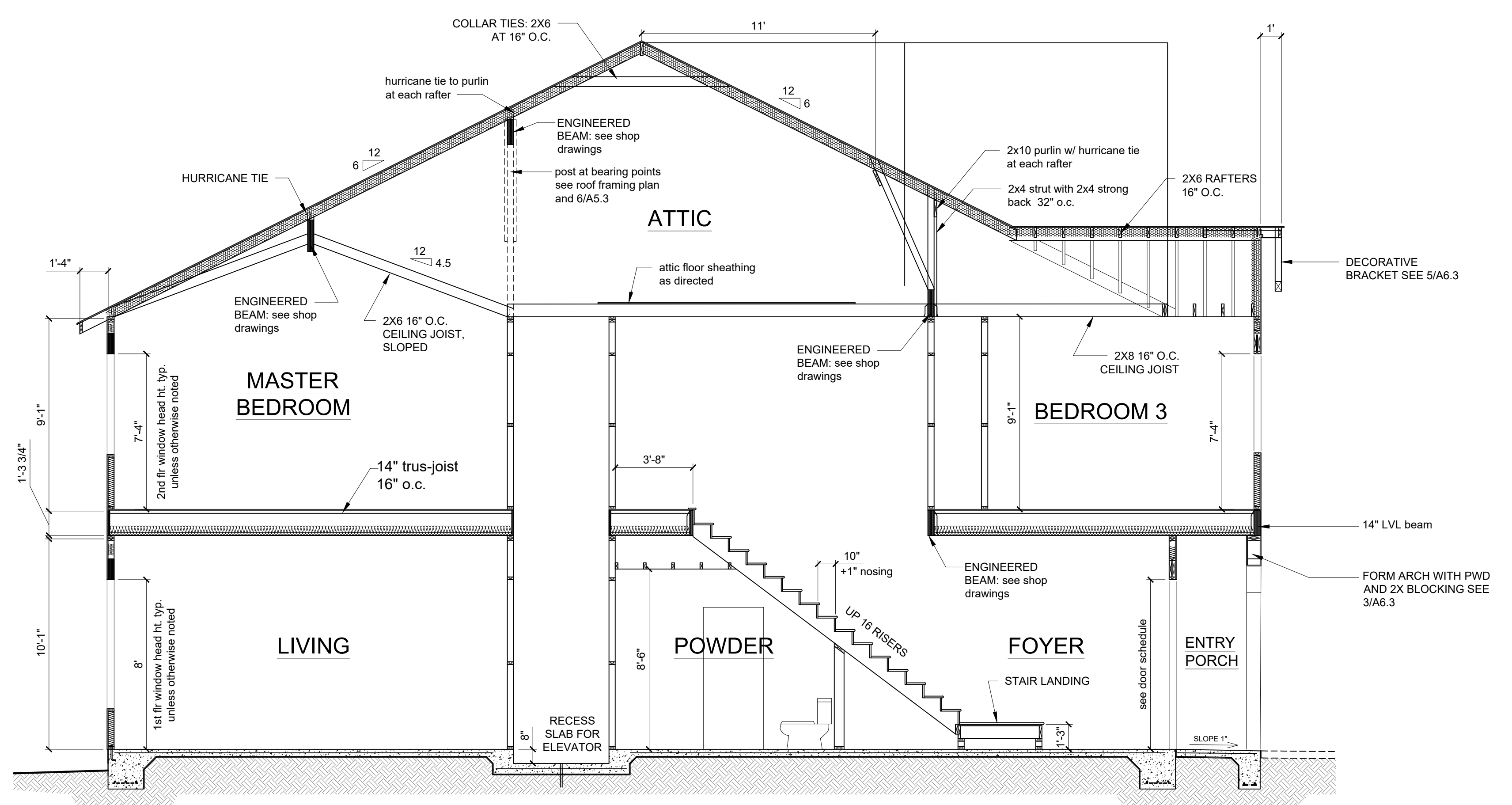
3 FRAMING SECTION - UNIT B
 A5.3



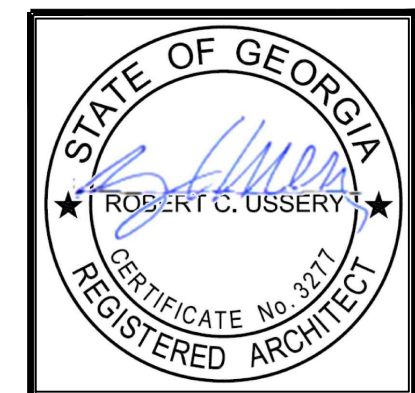
5 FRAMING SECTION - UNIT B
 A5.3



2 FRAMING SECTION - UNIT B
 A5.3



1 FRAMING SECTION - UNIT B
 A5.3



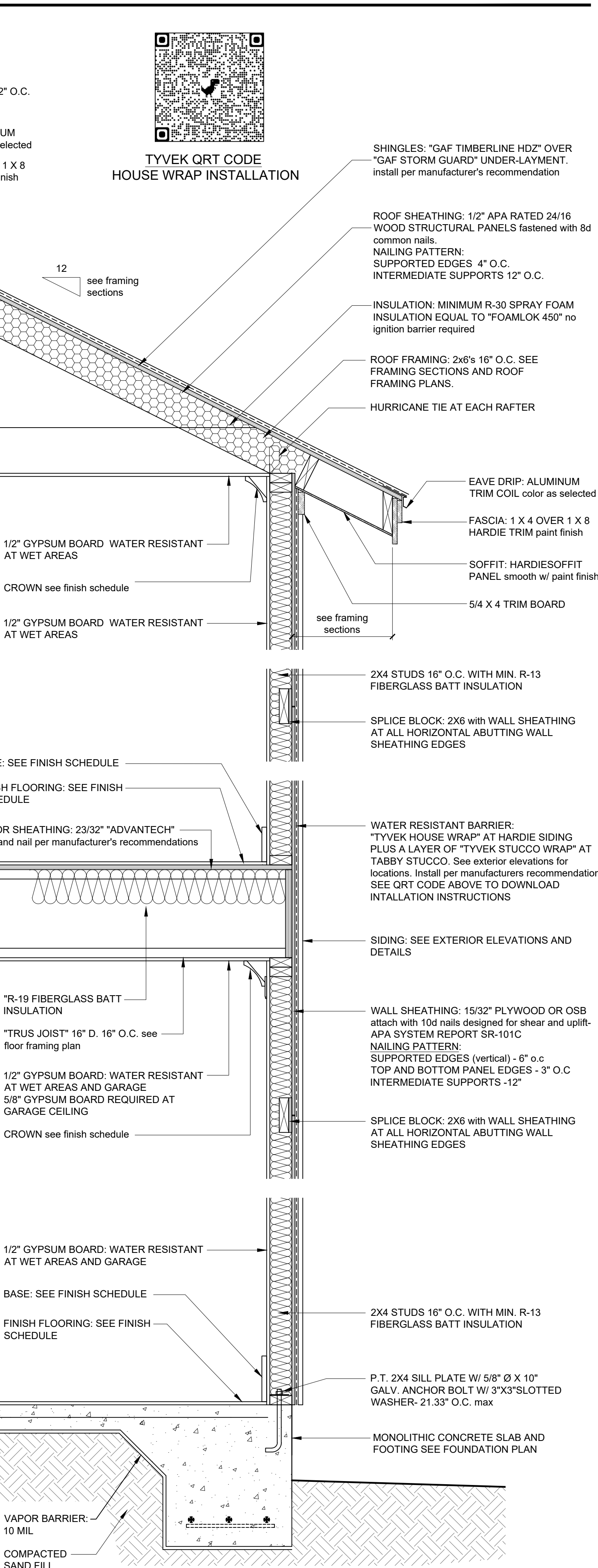
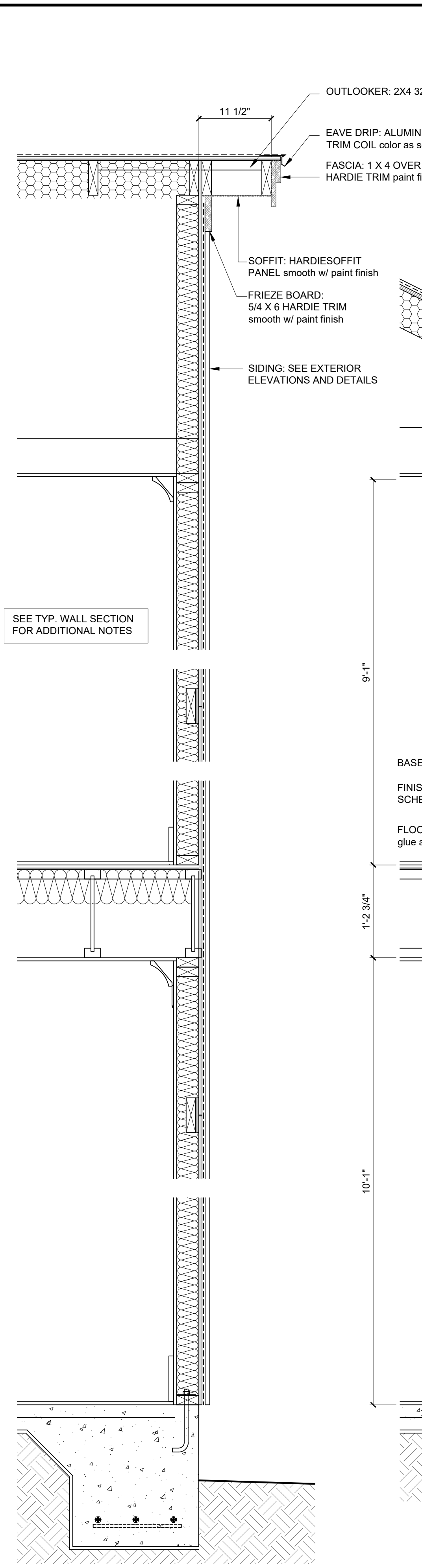
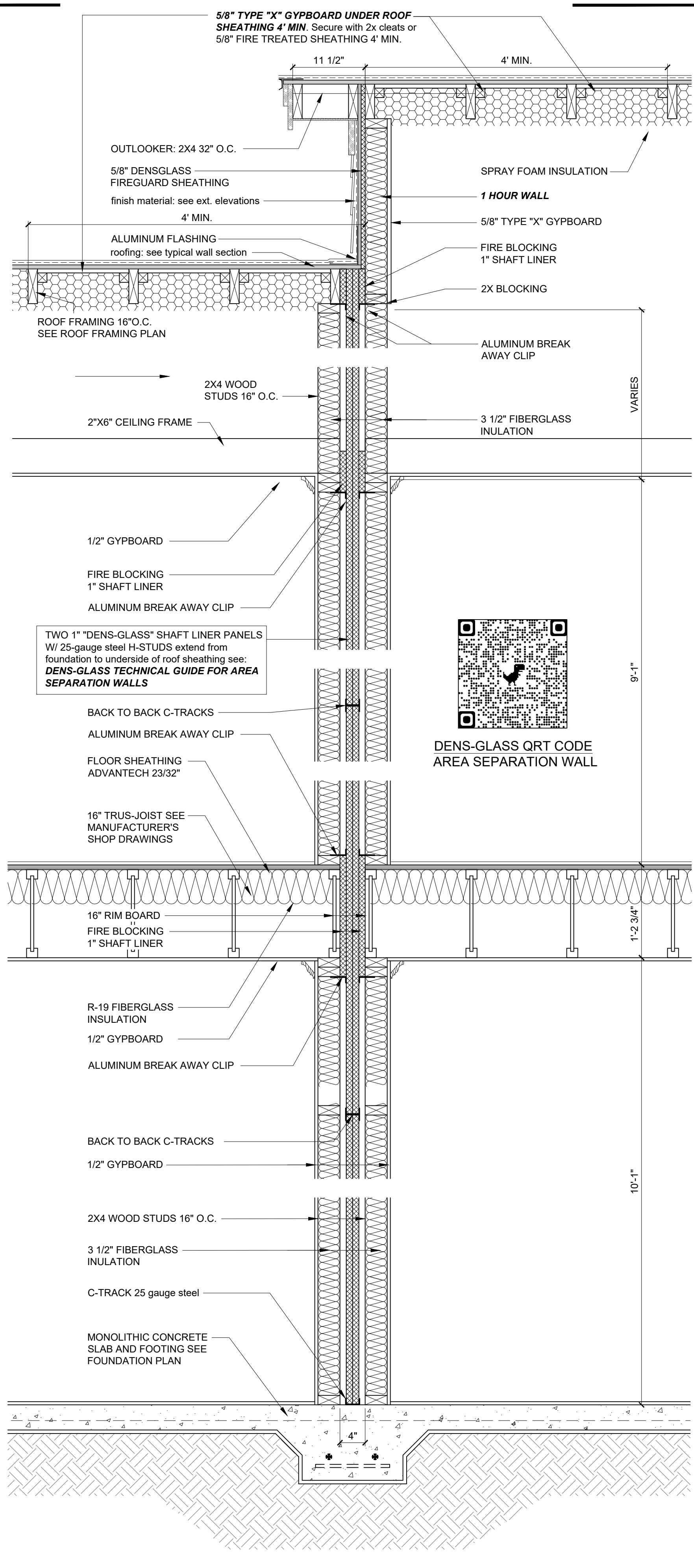
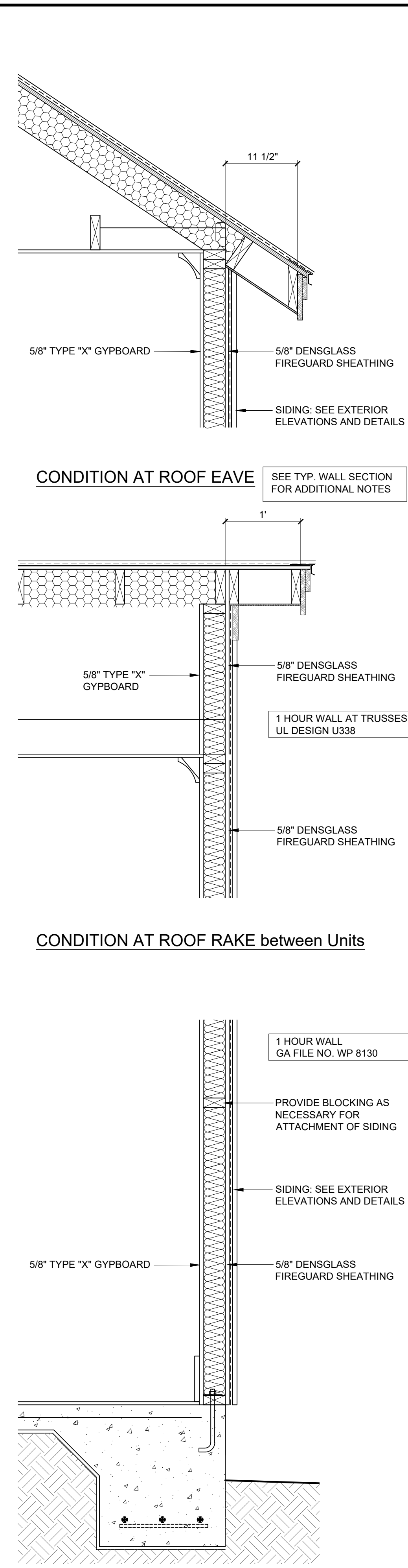
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FIFTY OAKS - Wall Sections
 South Harrington Road
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1622

6-01-21	
9-28-21	
1-05-22	
2-11-22	
3-4-22	
9-12-22	

A6.1



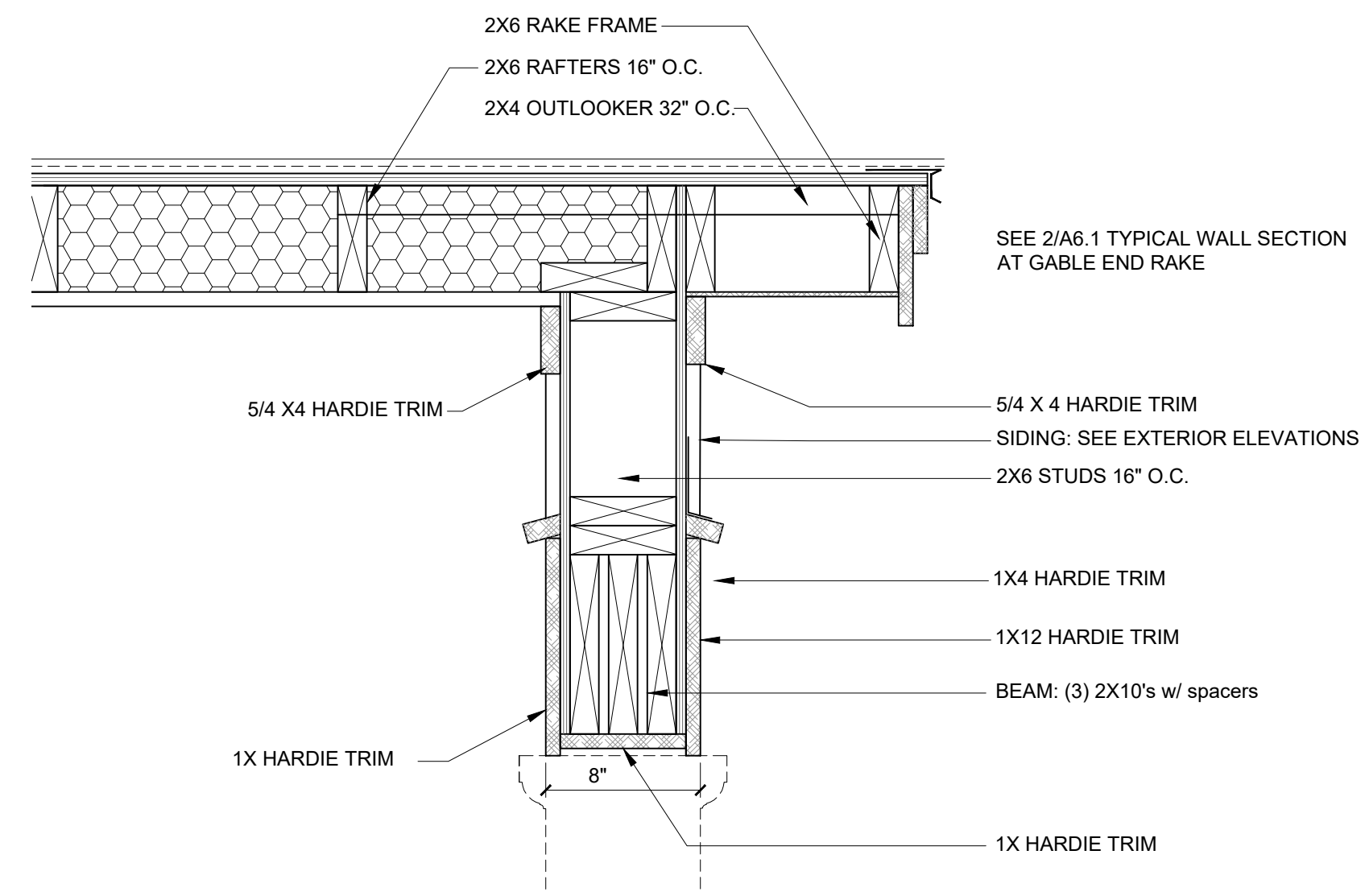
4 TYPICAL 1 HOUR WALL
 A6.1 0 3' 6" 1' 2'

3 SEPARATION WALL SECTION
 A6.1 0 3' 6" 1' 2'

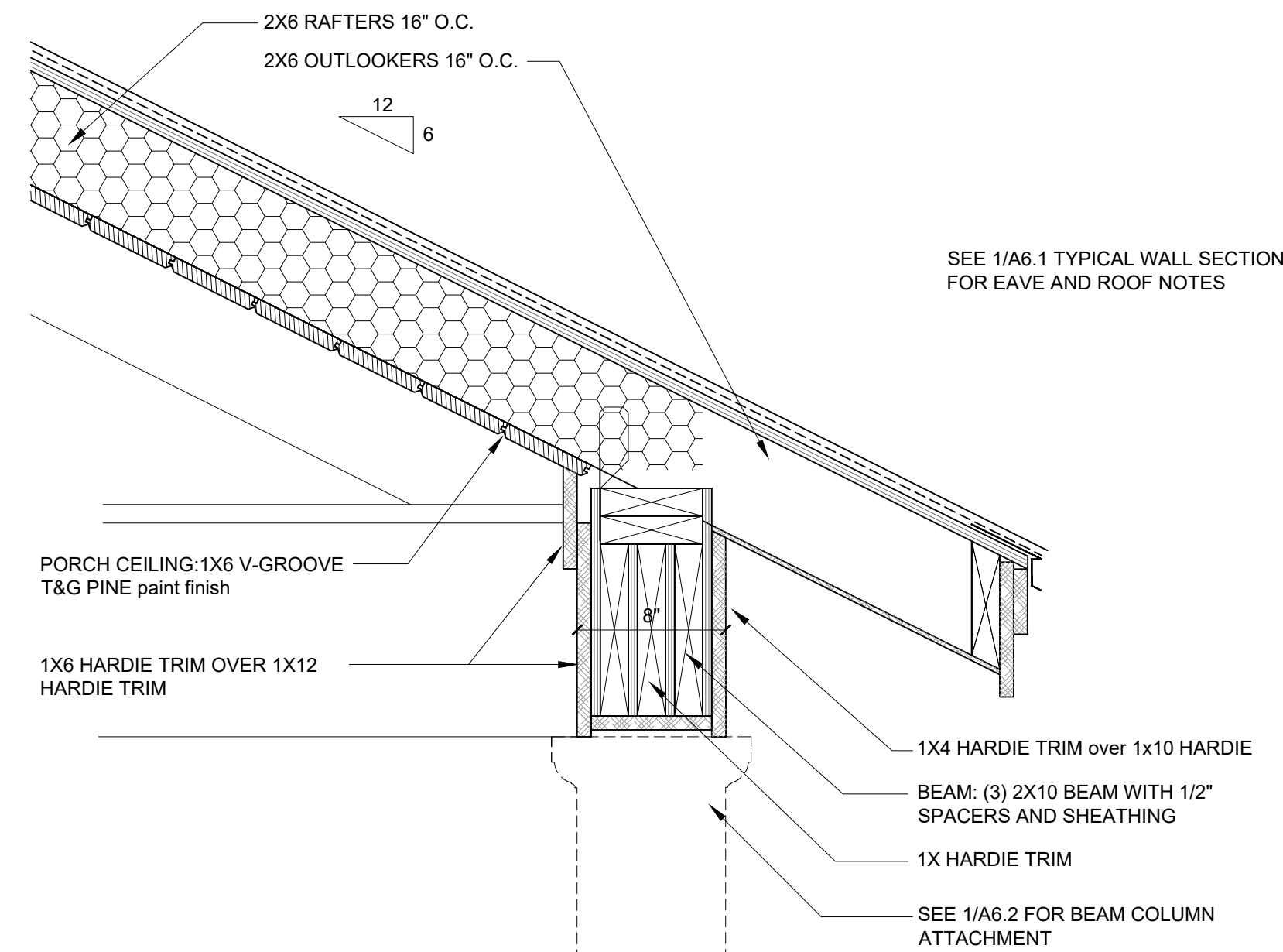
2 HOUR AREA SEPARATION WALL
 UL DESIGN U373
 1 HOUR WALL ABOVE LOW ROOF
 UL DESIGN U338

2 TYPICAL WALL AT GABLE END RAKE
 A6.1 0 3' 6" 1' 2'

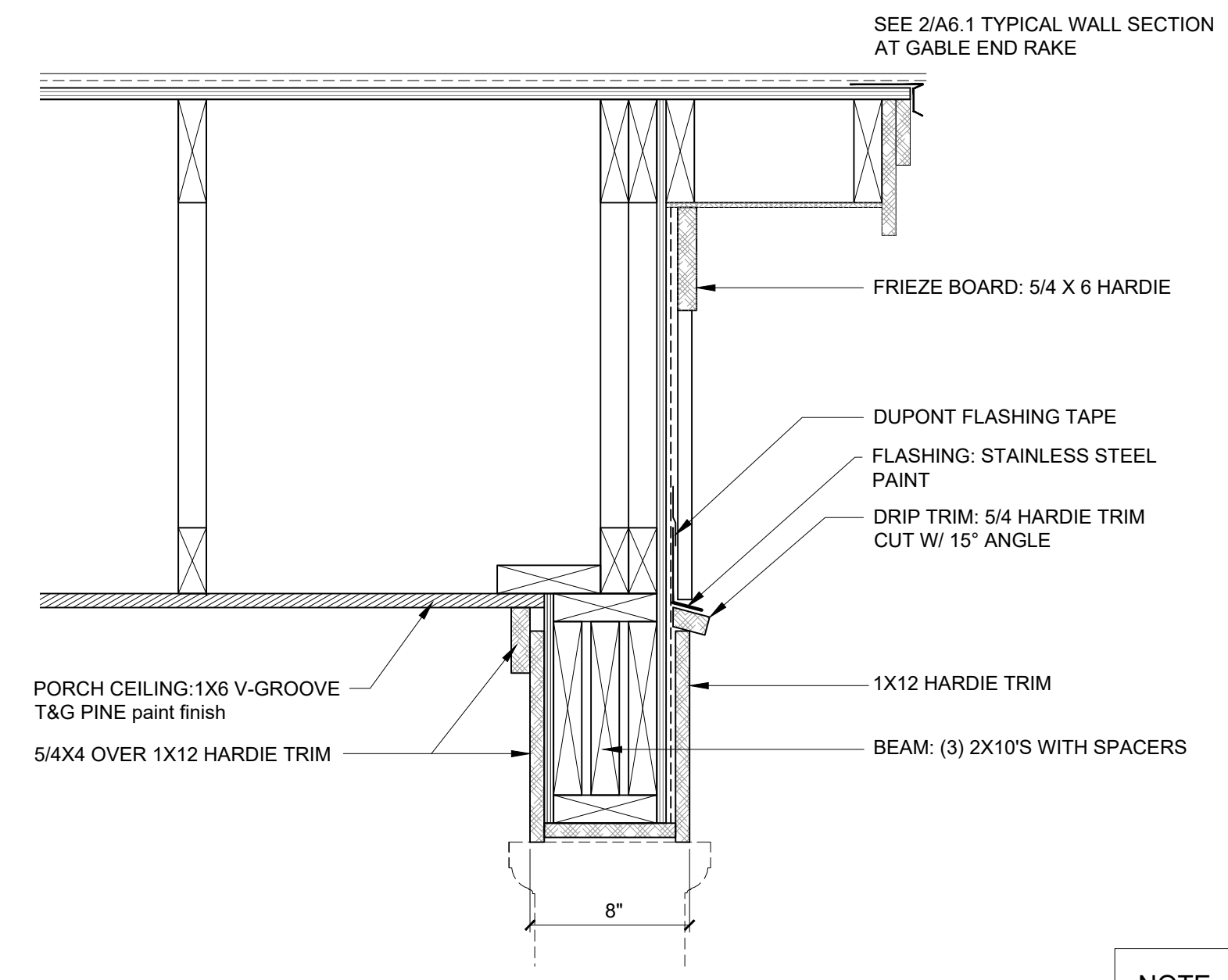
1 TYPICAL WALL SECTION
 A6.1 0 3' 6" 1' 2'



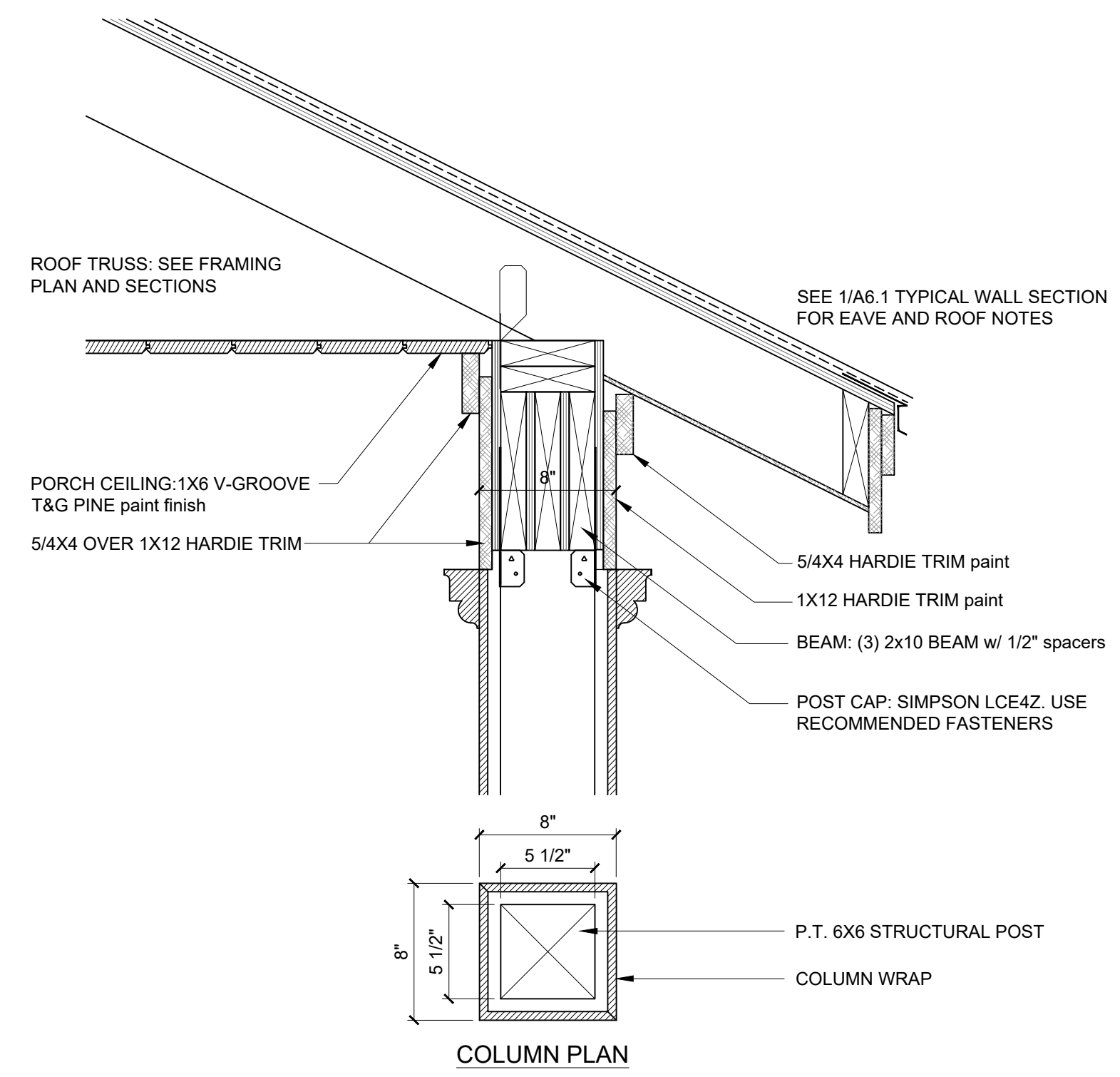
5 BEAM AT BACK PORCH RAKE
A6.2
0 3\"/>



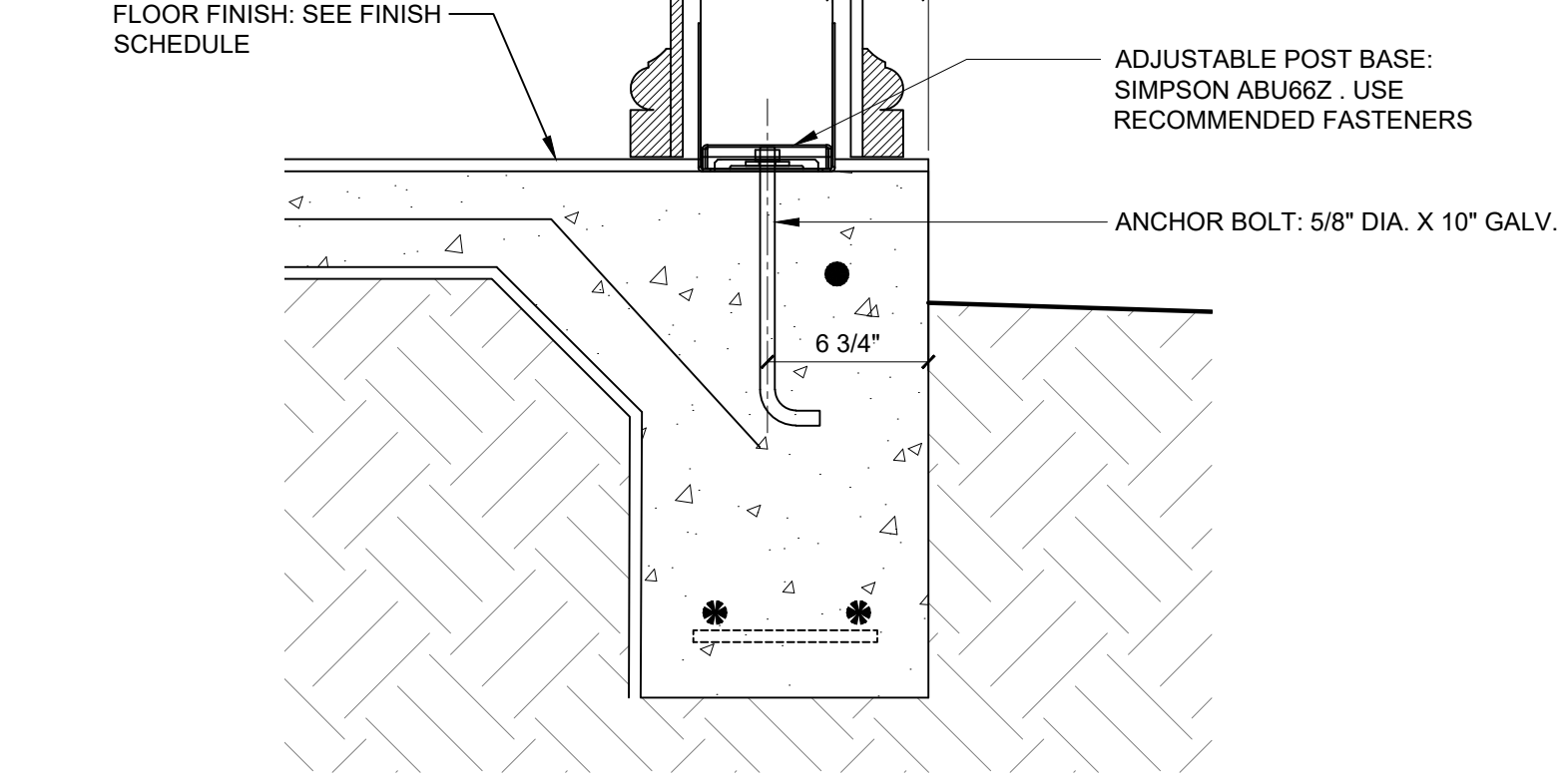
4 BEAM AT BACK PORCH EAVE
A6.2
0 3\"/>



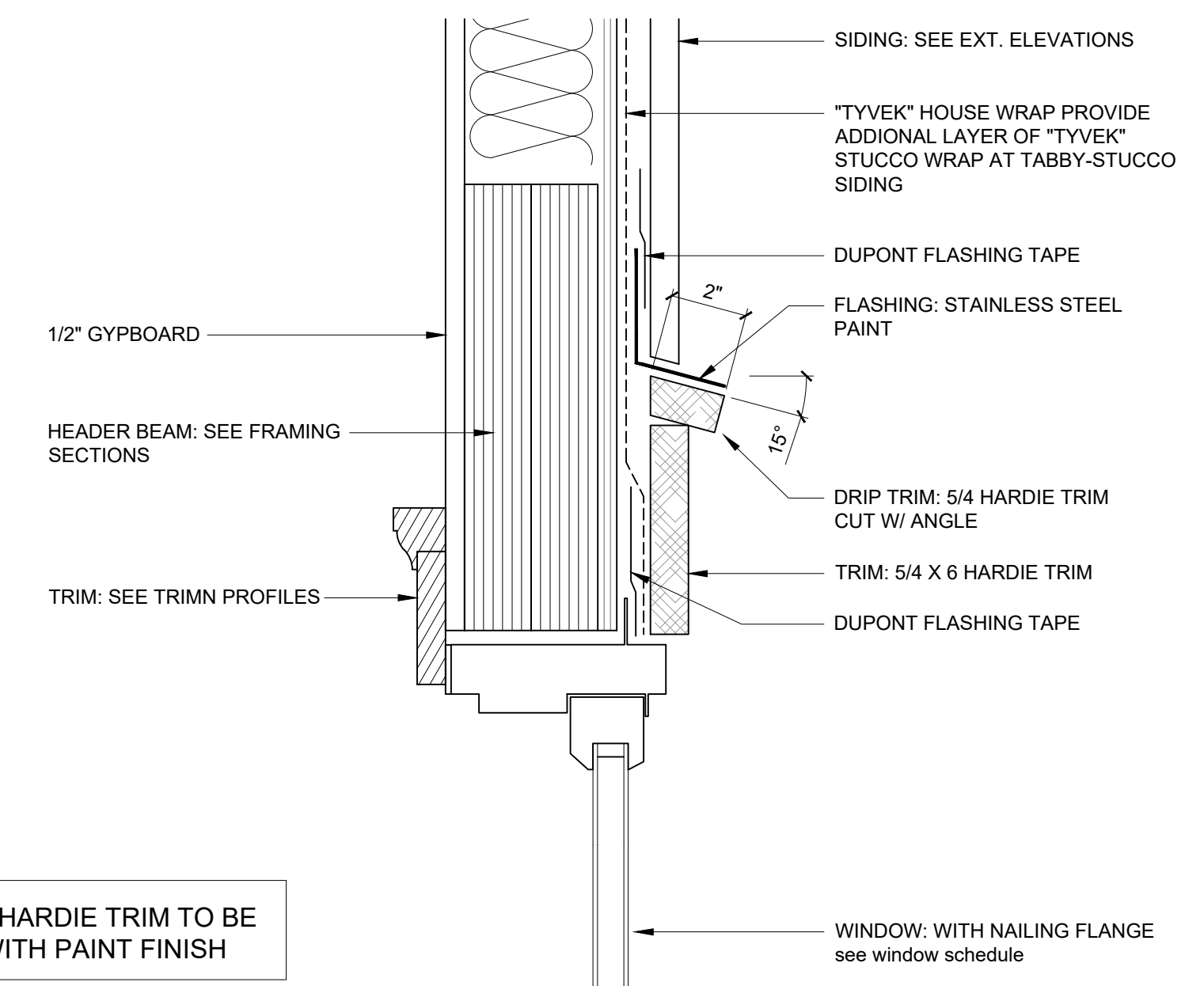
3 BEAM AT ENTRY PORCH RAKE
A6.2
0 3\"/>



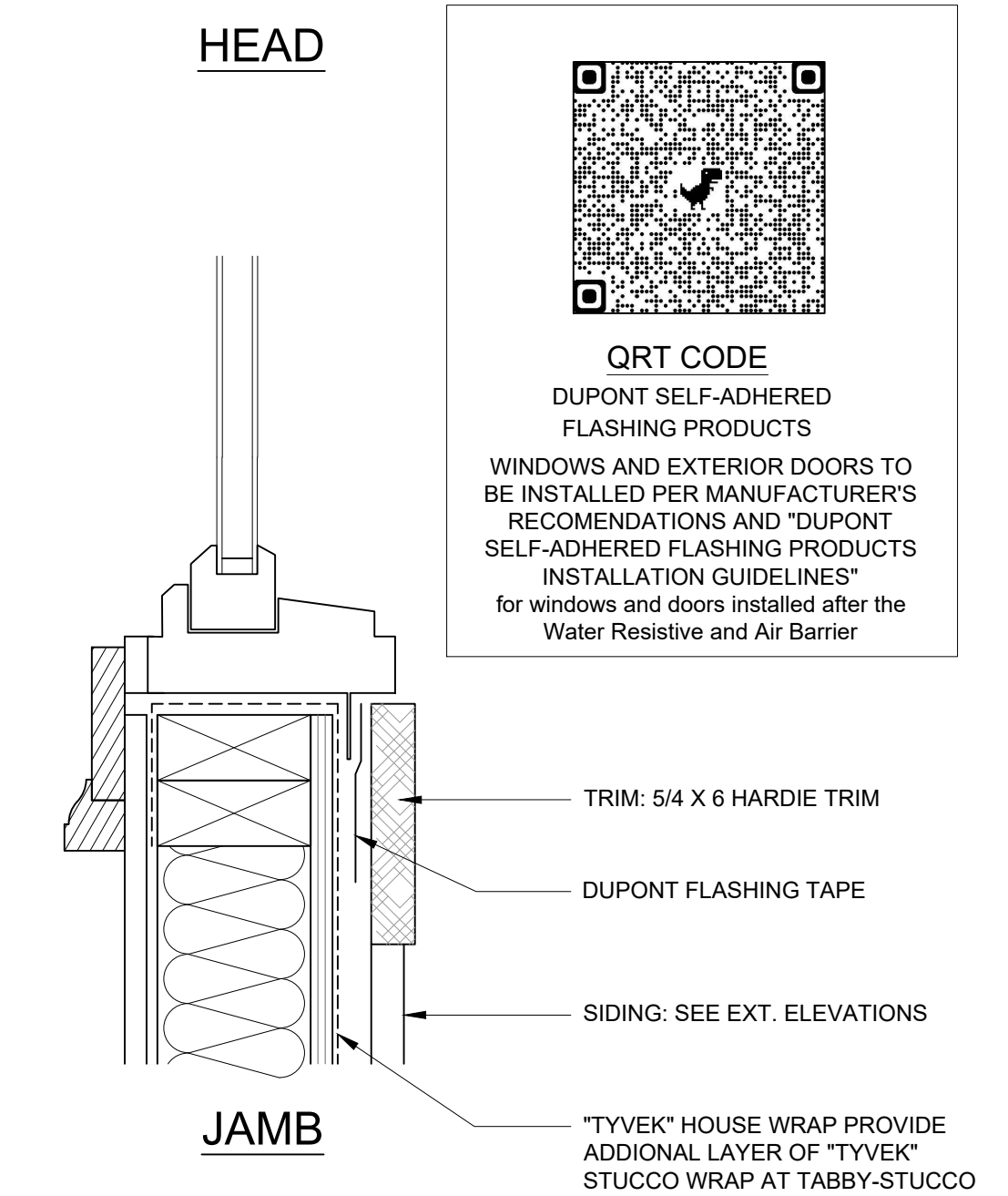
2 BEAM-COLUMN CONNECTION
A6.2
0 3\"/>



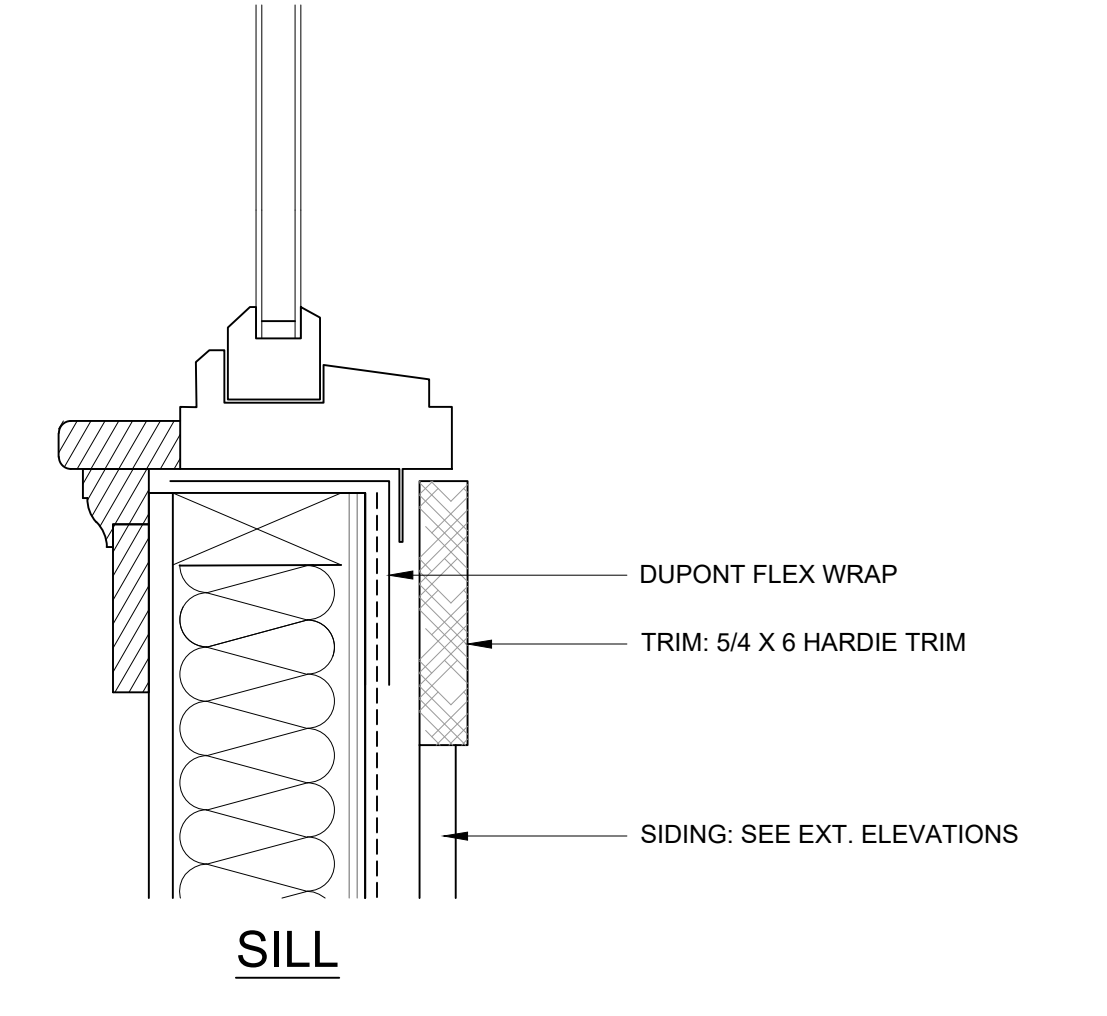
2 BEAM-COLUMN CONNECTION
A6.2
0 3\"/>



1 TYPICAL WINDOW DETAILS
A6.2
0 1\"/>



1 TYPICAL WINDOW DETAILS
A6.2
0 1\"/>



1 TYPICAL WINDOW DETAILS
A6.2
0 1\"/>



1 TYPICAL WINDOW DETAILS
A6.2
0 1\"/>

NOTE: ALL HARDIE TRIM TO BE SMOOTH WITH PAINT FINISH

QRT CODE
DUPONT SELF-ADHERED FLASHING PRODUCTS
WINDOWS AND EXTERIOR DOORS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND \"DUPONT SELF-ADHERED FLASHING PRODUCTS INSTALLATION GUIDELINES\" for windows and doors installed after the Water Resistive and Air Barrier



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FIFTY OAKS - Wall Sections
South Harrington Road
St. Simons Island, Georgia

1622

6-01-21	
9-28-21	
1-05-22	
2-11-22	
3-4-22	
9-12-22	

A6.2

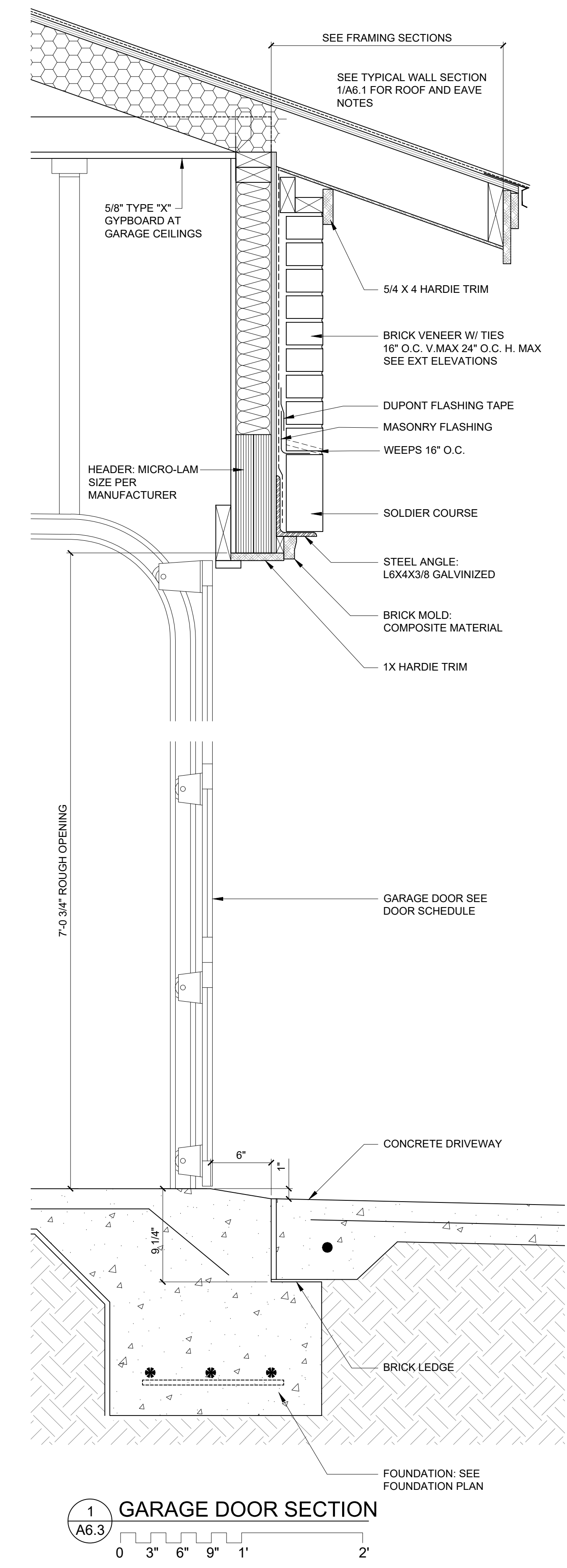


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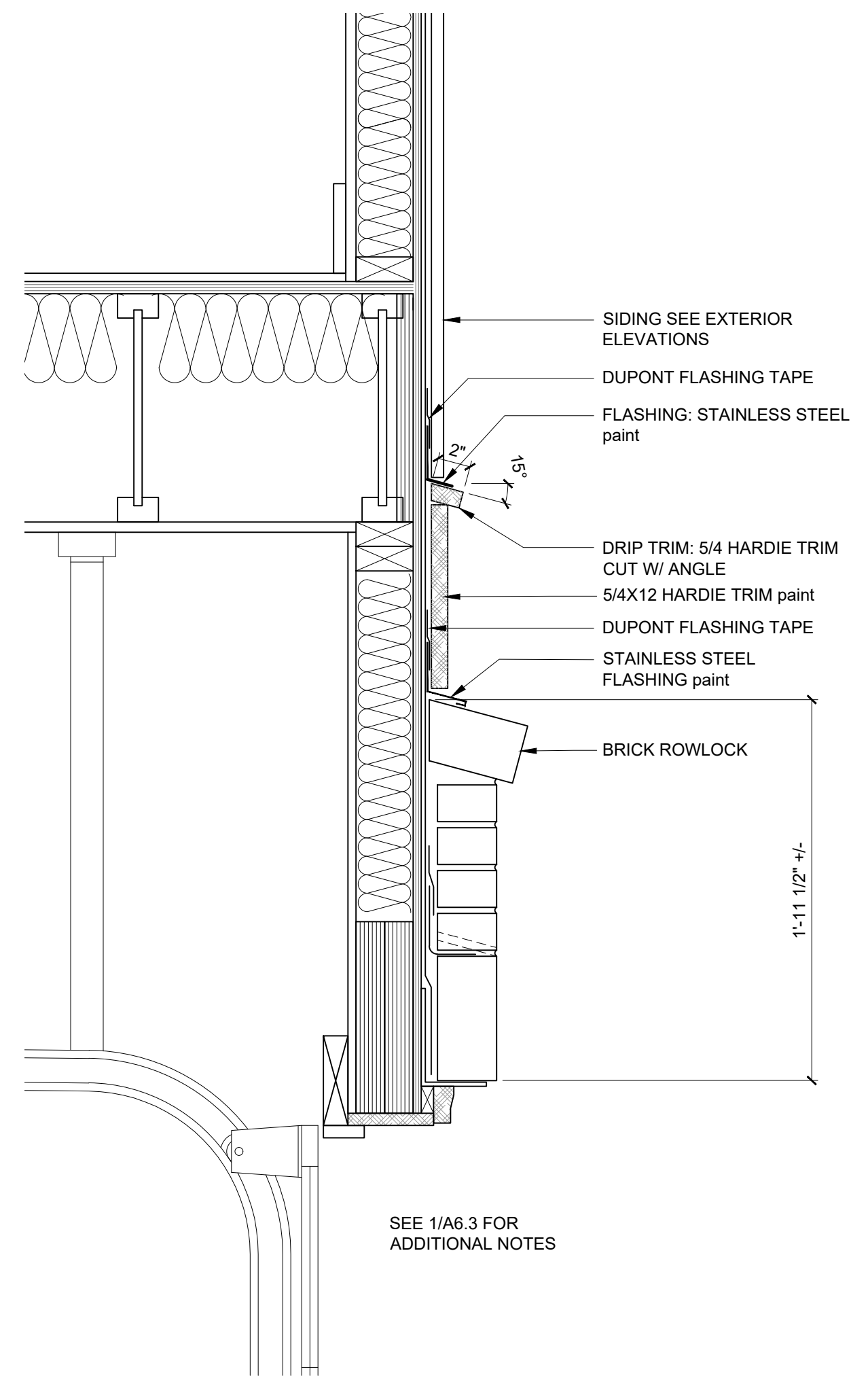
FIFTY OAKS - Wall Sections
 South Harrington Road
 St. Simons Island, Georgia

1622	
6-01-21	
9-28-21	
1-05-22	
2-11-22	
3-4-22	
9-12-22	

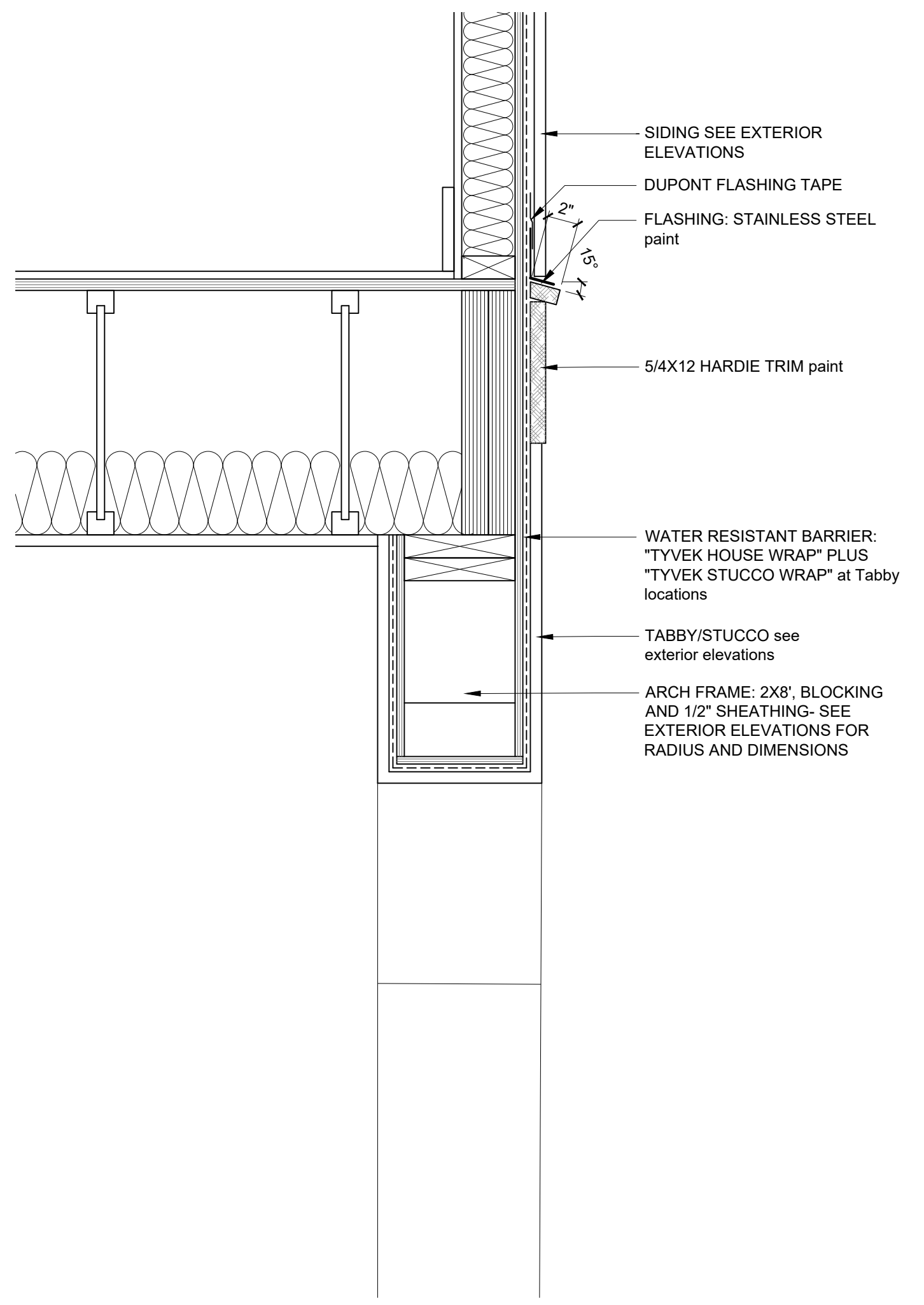
A6.3



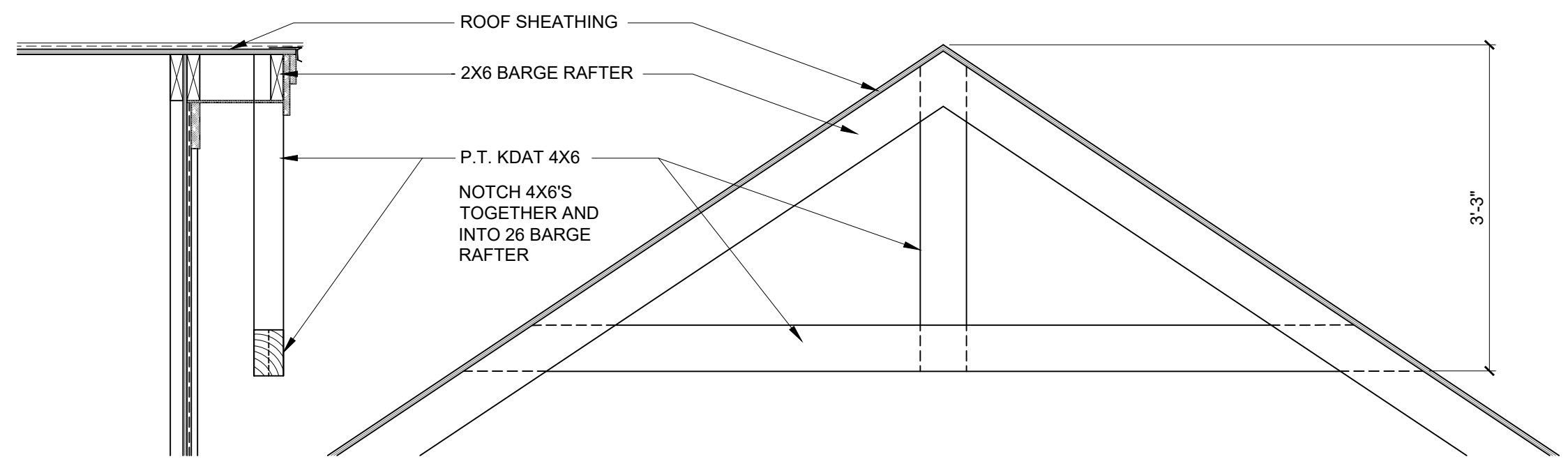
1 GARAGE DOOR SECTION
 A6.3 0 3" 6" 9" 1' 2'



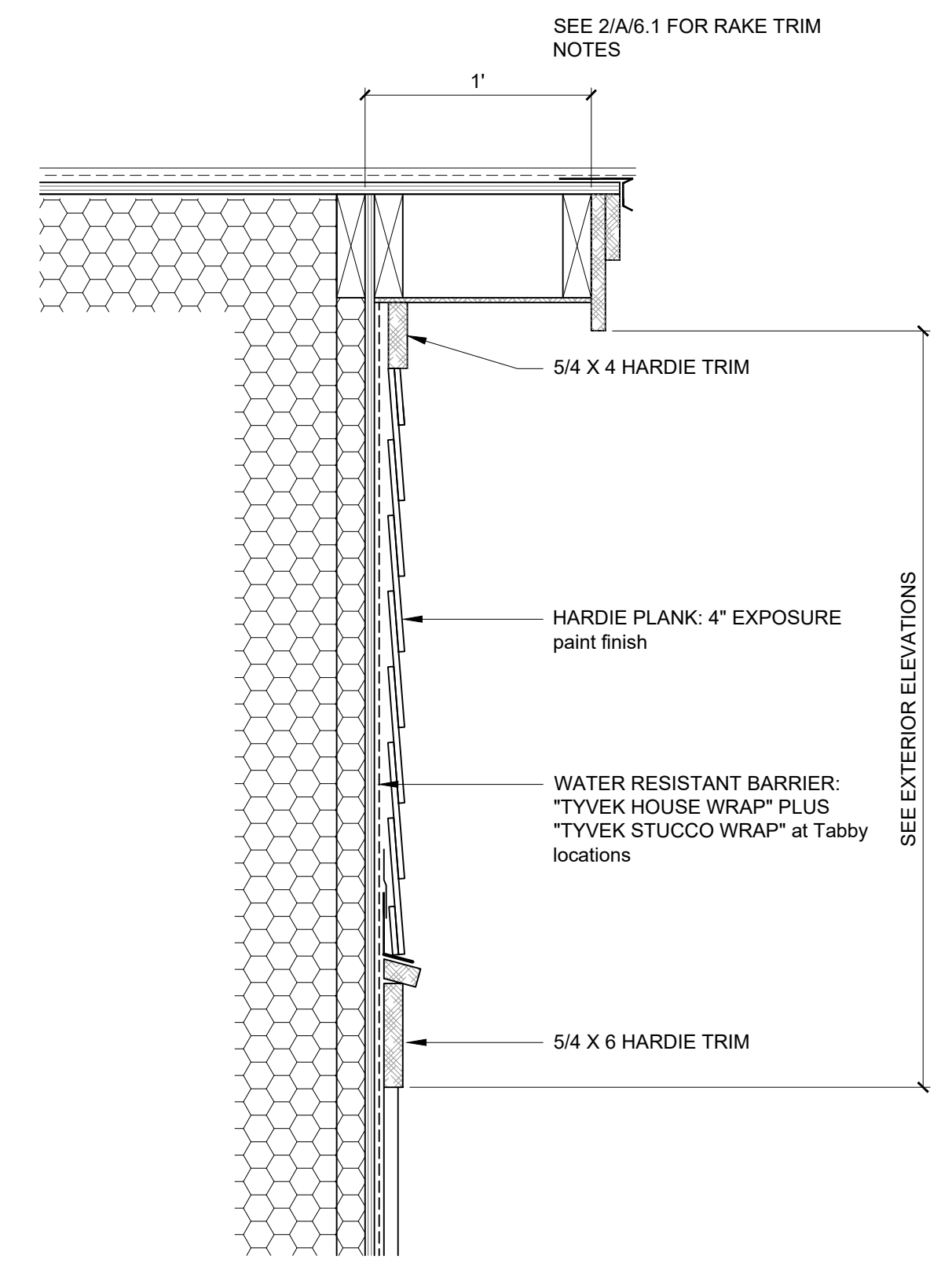
2 GARAGE DOOR SECTION
 A6.3 0 3" 6" 9" 1' 2'



3 TABBY ARCH AT UNIT TYPE \"B\" AND \"E\"
 A6.3 0 3" 6" 9" 1' 2'



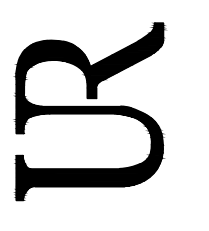
5 GABLE BRACKET DETAIL
 A6.3 0 1' 2' 4'



4 GABLE FEATURE
 A6.3 0 3" 6" 9" 1' 2'



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10-21-22

A7.1

UNIT C - DOOR SCHEDULE

MARK	UNIT SIZE	DESCRIPTION	FRAME	GLAZING	CASING	HARDWARE	COMMENTS
C-1	9-0 X 7-0	INSULATED GARGE DOOR	-	MFG	-	MFG	SEE ELEVATIONS, ANY GLAZING TO BE IMPACT RESIST.
C-3	3-0 X 8-0 X 1 3/4	EXTERIOR ENTRANCE DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS, 14" SIDELIGHTS, THRESHOLD & WEATHER STRIPPING
C-5	2-6 X verify X 1 3/8	CUSTOM INTERIOR DOOR	WOOD	-	-	SEC	SOLID WOOD
C-6	2-8 X 6-8 X 1 3/4	INTERIOR DOOR, AS SELECTED	WOOD	-	-	SEC	SOLID WOOD, OR 20 MIN. RATED W/ CLOSER, THRESHOLD & WEATHER STRIPPING
C-8	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-10	2-10 X 6-8	CASED OPENING	WOOD	-	-	-	-
C-11	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-12	1-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-13	2-8 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-15	8-0 X 8-0	SLIDING GLASS DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS
C-16	2-8 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-17	2-8 X 6-8 X 1 3/8	INTERIOR POCKET DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-18	2-8 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-19	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-20	3-0 X 6-8	ALUMINUM SCREEN DOOR, AS SELECTED	ALUM.	N/A	N/A	MFG	-
C-21	2-8 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-22	2-8 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-24	-----	-----		-	-		-
C-25	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-27	2-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-28	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-30	PR. 16 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
C-31	2-6 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
C-32	2-4 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-

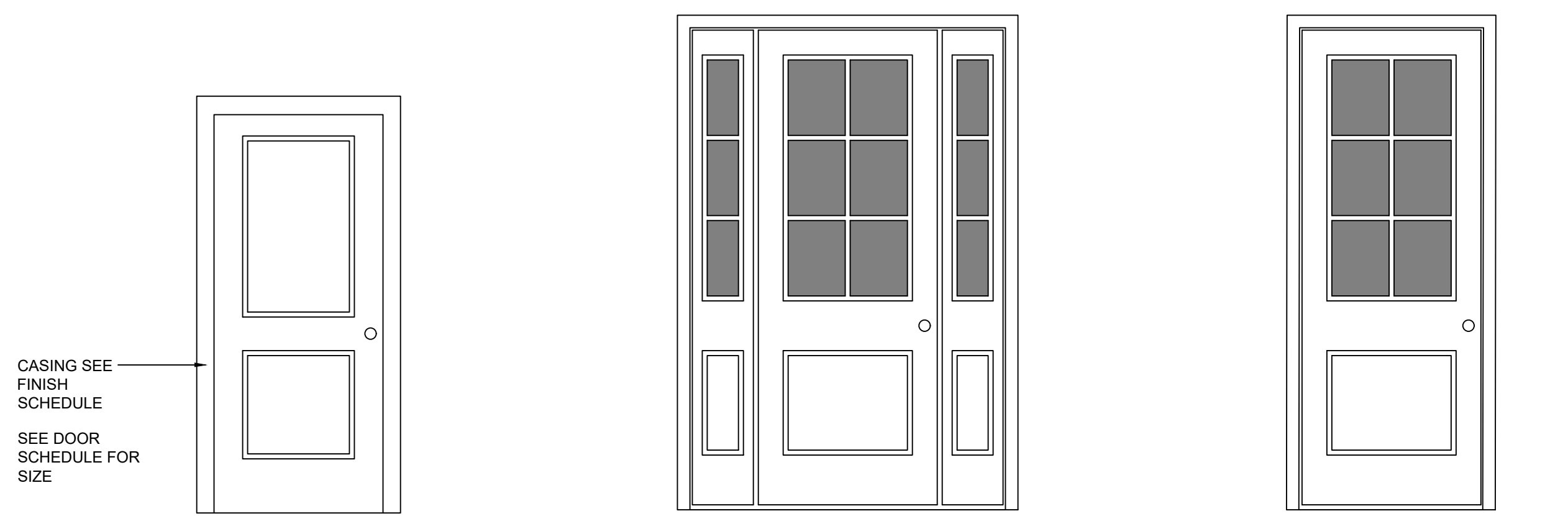
UNIT B - DOOR SCHEDULE

MARK	UNIT SIZE	DESCRIPTION	FRAME	GLAZING	CASING	HARDWARE	COMMENTS
B-1	9-0 X 7-0	INSULATED GARGE DOOR	-	MFG	-	MFG	SEE ELEVATIONS, ANY GLAZING TO BE IMPACT RESIST.
B-3	3-0 X 8-0 X 1 3/4	EXTERIOR ENTRANCE DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS, 14" SIDELIGHTS, THRESHOLD & WEATHERSTRIPPING
B-4	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
B-7	3-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	SEC	SOLID WOOD, OR 20 MIN. RATED W/ CLOSER, THRESHOLD & WEATHERSTRIPPING
B-9	3-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-14	3-0 X 8-0 X 1 3/4	INTERIOR DOOR, AS SELECTED	WOOD	-	-		RECESSED TO MEET ELEVATOR REQUIREMENTS
B-15	8-0 X 8-0	SLIDING GLASS DOOR, AS SELECTED	WOOD	MFG	-	SEC	IMPACT RESISTANT GLASS
B-20	3-0 X 6-8	ALUMINUM SCREEN DOOR, AS SELECTED	AL	N/A	N/A	MFG	-
B-21	3-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-22	2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-23	3-0 X 6-8 X 1 3/8	INTERIOR POCKET DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-26	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
B-27	3-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-29	3-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PASS	-
B-32	3-0 X 6-8 X 1 3/4	ELEVATOR DOOR	WOOD	-	-	PASS	RECESSED TO MEET ELEVATOR REQUIREMENTS
B-33	PR. 2-0 X 6-8 X 1 3/8	INTERIOR DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-34	3-0 X 6-8 X 1 3/8	INTERIOR POCKET DOOR, AS SELECTED	WOOD	-	-	PASS	-
B-35	3-0 X 6-8 X 1 3/8	INTERIOR POCKET DOOR, AS SELECTED	WOOD	-	-	PRIV	-
B-36	3-0 X 6-8 X 1 3/8	INTERIOR DOOR AS SELECTED	WOOD	-	-	PRIV	-
B-37	2-4 X 6-8 X 1 3/8	INTERIOR DOOR AS SELECTED	WOOD	-	-	PASS	-

WINDOW SCHEDULE

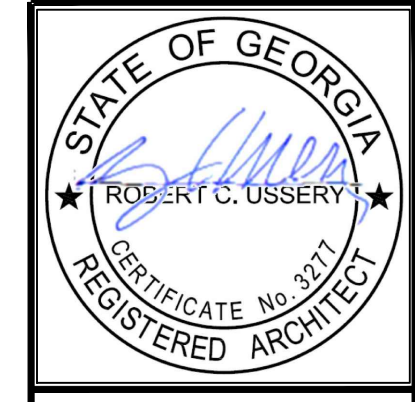
MARK	NOMINAL UNIT SIZE	HEAD HEIGHT	DESCRIPTION	GLAZING	CASING	COMMENTS
A	3-0 X 6-0	8'-0"	DOUBLE HUNG	IMPACT	-	SEE EXTERIOR ELEVATIONS FOR GRILL CONFIGURATION TYPICAL ALL WINDOWS
B	PR. 3-0 X 6-0	8'-0"	DOUBLE HUNG	IMPACT	-	-
C	TRIPLE 3-0 X 6-0	8'-0"	DOUBLE HUNG	IMPACT	-	-
D	PR. 2-6 X 6-0	8'-0"	DOUBLE HUNG	IMPACT	-	-
E	PR. 2-4 X 4-8	8'-0"	DOUBLE HUNG	IMPACT	-	-
F	TRIPLE 3-0 X 4-8	7'-4"	DOUBLE HUNG	IMPACT	-	-
G	PR. 3-0 X 4-8	7'-4"	DOUBLE HUNG	IMPACT	-	-
H	3-0 X 4-8	7'-4"	DOUBLE HUNG	IMPACT	-	-
I	2-4 X 4-0	8'-2 3/4"	FIXED	IMPACT	-	-
J	2-4 X 4-8	7'-4"	DOUBLE HUNG	IMPACT	-	-
K	PR. 2-4 X 2-4	7'-4"	AWNING	IMPACT	-	-

- NOTES:
 1. SEE FLOOR PLAN FOR WINDOW LOCATIONS. ALL WINDOWS MAY NOT BE USED
 2. SEE EXTERIOR ELEVATIONS FOR HEAD HEIGHTS
 3. FIRST FLOOR WINDOW HEAD HEIGHT = 8'-0" U.N.O.
 4. SECOND FLOOR WINDOW HEAD HEIGHT = 7'-4" U.N.O.



TYPICAL INTERIOR DOOR ENTRY DOOR "B" AND "C" UNIT ENTRY DOOR "A" UNIT

0 1 2 3 4 5



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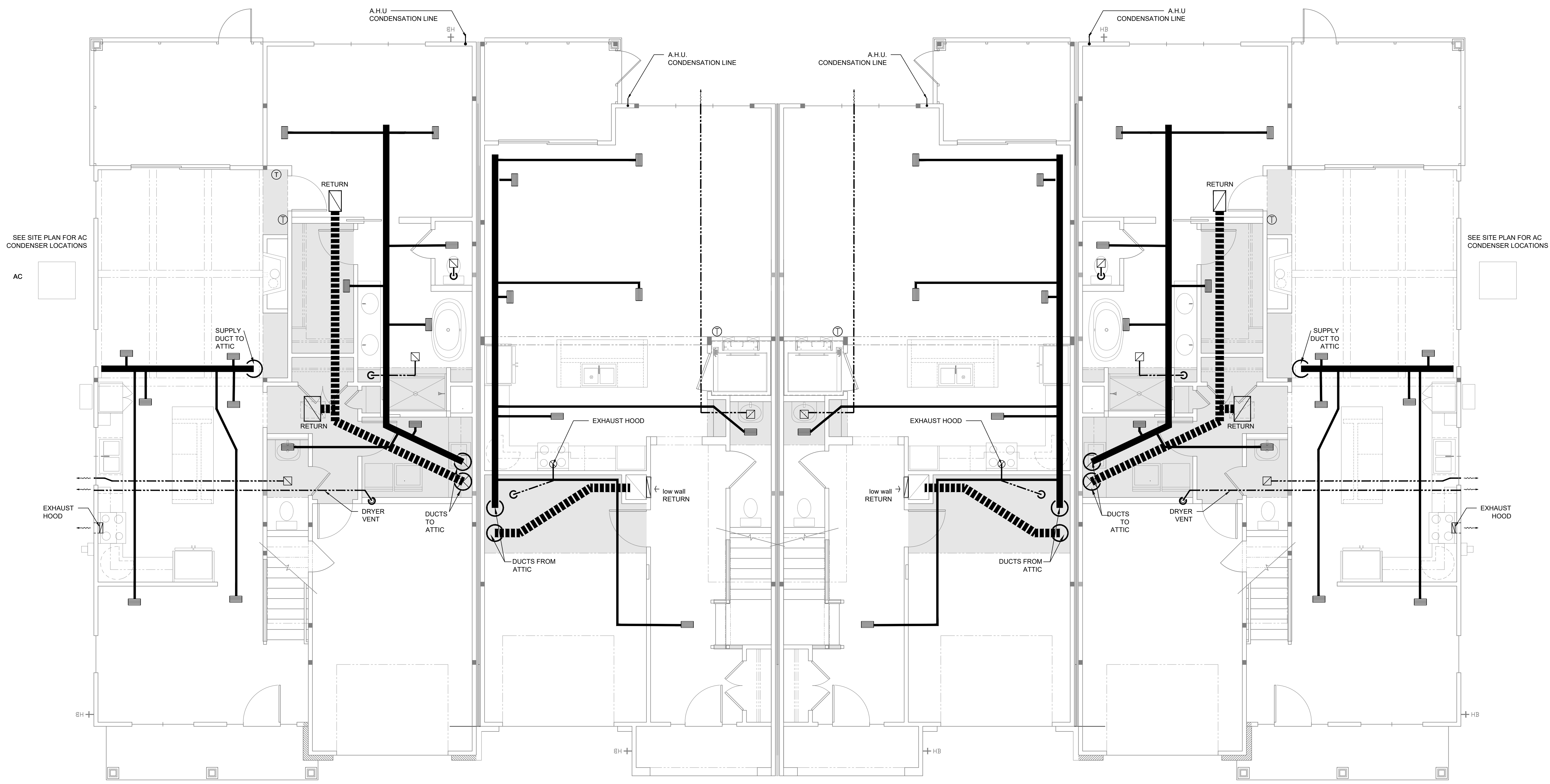
1622
10-21-22

M.1

SEE SITE PLAN FOR AC
CONDENSER LOCATIONS

SEE SITE PLAN FOR AC
CONDENSER LOCATIONS

SEE SITE PLAN FOR AC
CONDENSER LOCATIONS



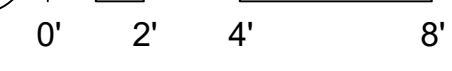
UNIT - C
137

UNIT - B
139

UNIT - B
141

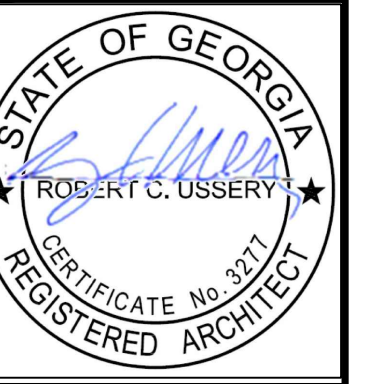
UNIT - C
143

1
M.1
FIRST FLOOR MECHANICAL PLAN

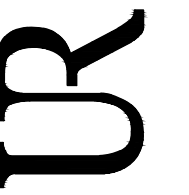


NOTE:
 AIR CONDITIONING TO BE A (2) ZONE SYSTEM: 1ST FLOOR
 AND 2ND FLOOR WITH TWO THERMOSTATS.
 DRAWING FOR PLANNING PURPOSES ONLY. CONTRACTOR
 TO SUBMIT EQUIPMENT SCHEDULE AND DUCT LAYOUT FOR
 APPROVAL. CEILING GRILLS TO BE COORDINATED WITH
 ELECTRICAL FIXTURE LOCATIONS

- INDICATES SUPPLY DUCT
- - - - - INDICATES RETURN DUCT
- - - - - INDICATES EXHAUST DUCT
- INDICATES SUPPLY GRILL
- INDICATES RETURN GRILL W/ FILTER
- ⊙ INDICATES THERMOSTAT



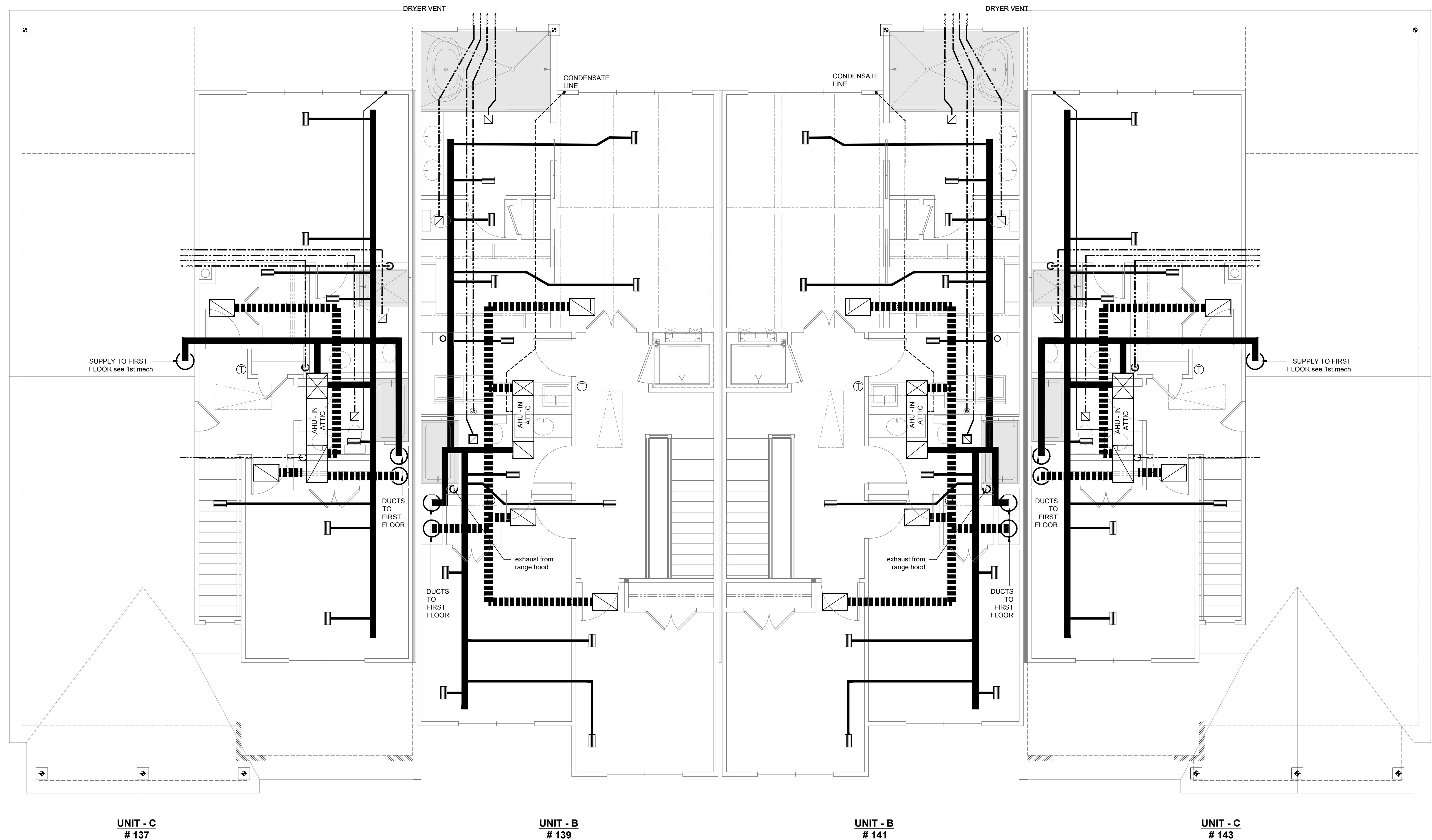
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1622
10-21-22

M.2



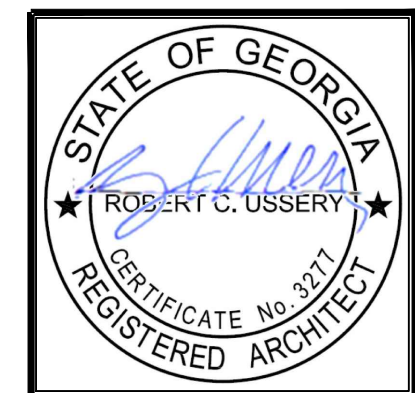
1
 M.2

SECOND FLOOR MECHANICAL PLAN

0' 2' 4' 8'

NOTE:
 AIR CONDITIONING TO BE A (2) ZONE SYSTEM: 1ST FLOOR AND 2ND FLOOR WITH TWO THERMOSTATS.
 DRAWING FOR PLANNING PURPOSES ONLY. CONTRACTOR TO SUBMIT EQUIPMENT SCHEDULE AND DUCT LAYOUT FOR APPROVAL. CEILING GRILLS TO BE COORDINATED WITH ELECTRICAL FIXTURE LOCATIONS

- INDICATES SUPPLY DUCT
- - - - - INDICATES RETURN DUCT
- · - · - · - INDICATES EXHAUST DUCT
- INDICATES SUPPLY GRILL
- INDICATES RETURN GRILL W/ FILTER
- ⊙ INDICATES THERMOSTAT

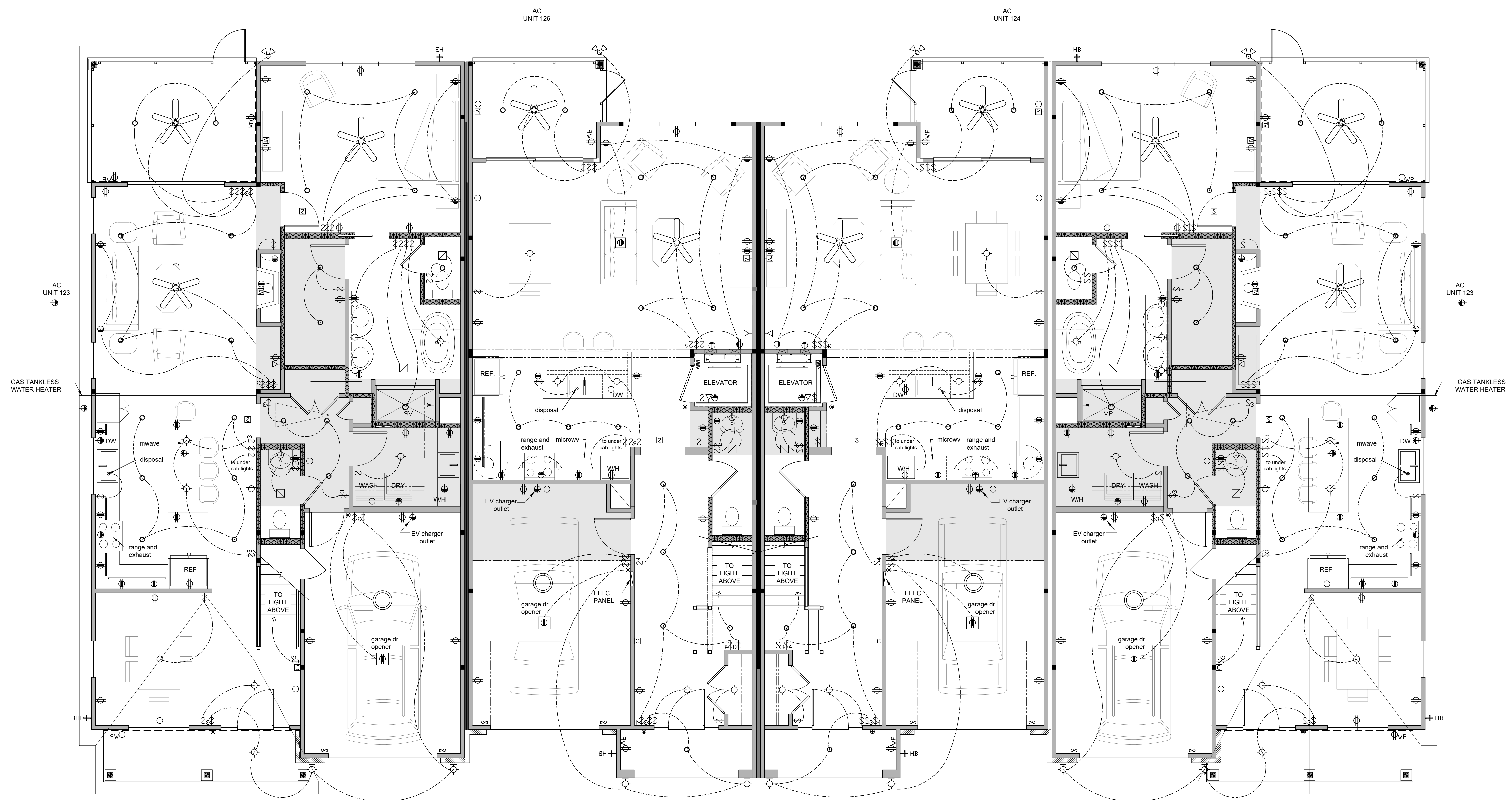


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 South Harrington Road
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1622
10-21-22

E.1



UNIT - C
137

UNIT - B
139

UNIT - B
141

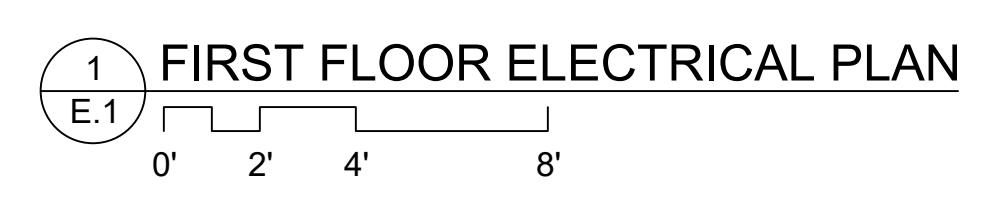
UNIT - C
143

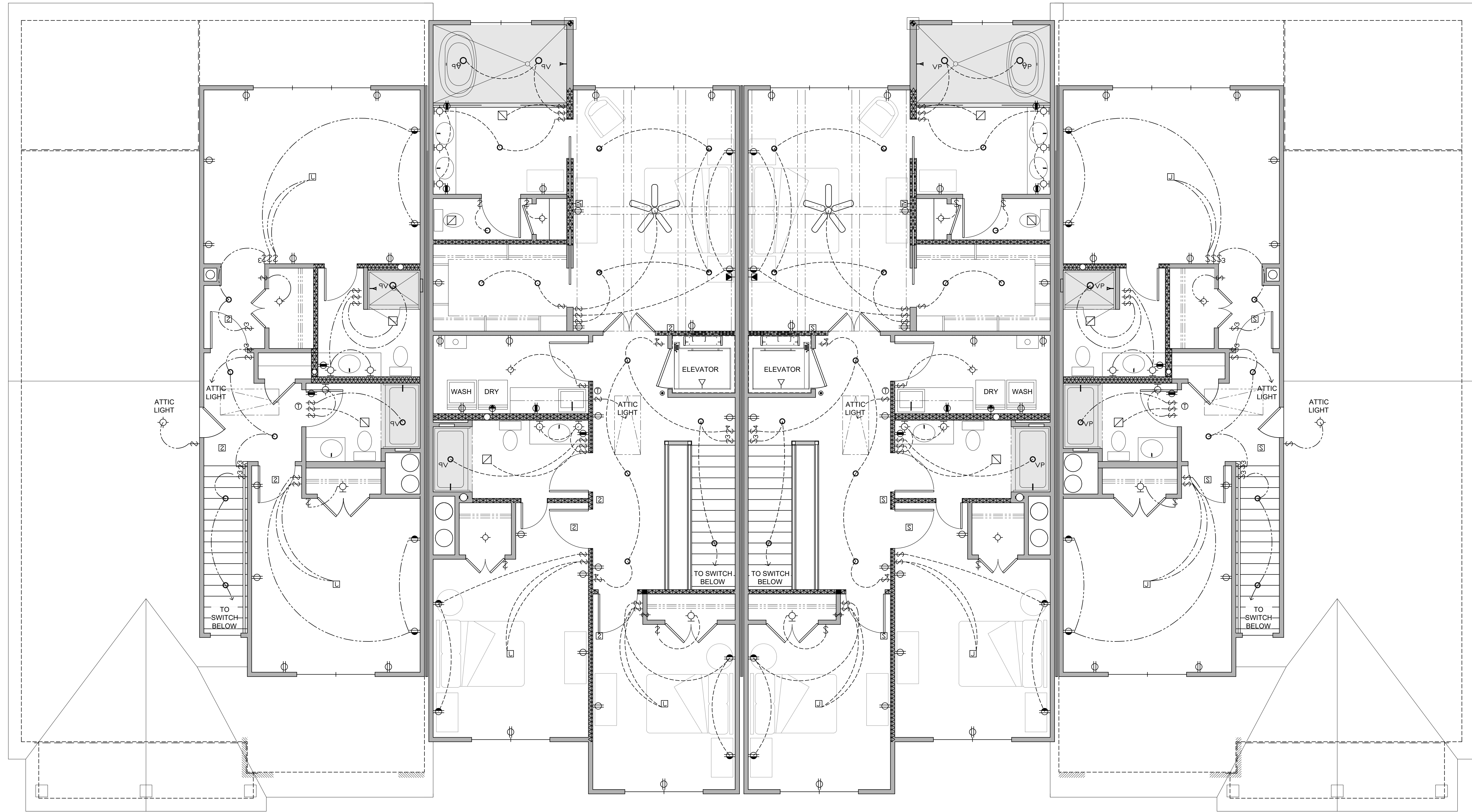
ELECTRIC METER LOCATIONS, SEE GA. POWER SITE PLAN

ELECTRICAL SYMBOLS LEGEND

⊕	DUPLEX CONVENIENCE OUTLET	⊕	Ceiling Mount L.E.D. Light * AS SELECTED BY OWNER
⊕	DUPLEX OUTLET TOP SWITCHED	⊕	WALL MOUNT L.E.D. LIGHT
⊕WP	DUPLEX OUTLET - WATERPROOF	☎	TELEPHONE OUTLET
⊕	DUPLEX OUTLET - VERIFY HEIGHT	Ⓜ	TELEVISION CABLE OUTLET
Ⓜ	FLOOR DUPLEX RECTANGLE OUTLET	☎	EXHAUST FAN
Ⓢ	SWITCH	☎	EXHAUST FAN AND LIGHT
Ⓢ3	THREE WAY SWITCH	⊕	Ceiling Fan
Ⓢ4	FOUR WAY SWITCH	⊕	UNDER CABINET LIGHT
Ⓢ	SPECIAL OUTLET - VERIFY	⊕	LED STRIP LIGHT
Ⓢ	SMOKE DETECTOR		
⊕	GARAGE DOOR SENSOR		
Ⓢ	THERMOSTAT		
Ⓢ	PUSH BUTTON OR JAMB SWITCH		
Ⓢ	CHIME		
Ⓢ	FLOOD LIGHT - DIRECTIONAL		
Ⓢ	JUNCTION BOX		
Ⓢ	RECESSED CAN L.E.D.		
Ⓢ	RECESSED CAN L.E.D. VAPOR PROOF LIGHT		
Ⓢ	SLOPED CEILING		
Ⓢ	RECESSED CAN L.E.D.		

- GENERAL ELECTRICAL NOTES:**
- CONTRACTOR SHALL PROVIDE FOUR (4) ADDITIONAL ELECTRICAL OUTLETS PER UNIT TO BE LOCATED ON JOB.
 - PROVIDE TWO (2) LIGHTS PER UNIT IN ATTIC AND ONE (1) LIGHT PER UNIT AT GARAGE CEILING. TO BE LOCATED ON JOB.
 - PROVIDE POWER FOR AIR HANDLERS AND CONDENSER UNITS. TO BE LOCATED ON JOB.
 - PROVIDE POWER FOR WATER HEATERS. TO BE LOCATED ON JOB.
 - ALL ELECTRICAL RECEPTACLES, TELEPHONE OUTLETS, TB CABLE/ ANTENNA OUTLETS SHALL BE MOUNTED 12" ABOVE FLOOR TO BOTTOM OF BOX. UNLESS NOTED OTHERWISE.
 - ALL SWITCHES SHALL BE MOUNTED 48" ABOVE FLOOR TO BOTTOM OF BOX.
 - THE ELECTRICAL RECEPTACLE AT THE LAVATORIES SHALL BE GROUND FAULT INTERRUPTER (GFI) TYPE.
 - ALL ELECTRICAL COMPONENTS SHALL BE LOCATED ABOVE FLOOD ELEVATION EXCEPT SERVICE TO METER WHICH SHALL BE UNDERGROUND.
 - COORDINATE LOCATION OF ALL ELECTRICAL DEVICES WITH ARCHITECTURAL TRIM AND MOULDING.
 - COORDINATE POWER REQUIREMENTS OF APPLIANCES AND EQUIPMENT WITH OTHER TRADES.
 - SERVICE FEED FROM POWER METER, CATV ENTRY, AND TELEPHONE ENTRY TO UNIT DISTRIBUTION PANELS/ BOARDS SHALL BE HOME-RUN IN CONDUIT.
 - PROVIDE POWER FOR ELEVATOR. VERIFY REQUIREMENTS AND LOCATION WITH ELEVATOR MANUFACTURER.





UNIT - C
137

UNIT - B
139

UNIT - B
141

UNIT - C
143

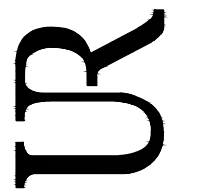
ELECTRICAL SYMBOLS LEGEND			
	DUPLEX CONVENIENCE OUTLET		CEILING MOUNT L.E.D. LIGHT * AS SELECTED BY OWNER
	DUPLEX OUTLET TOP SWITCHED		WALL MOUNT L.E.D. LIGHT
	DUPLEX OUTLET - WATERPROOF		TELEPHONE OUTLET
	DUPLEX OUTLET - VERIFY HEIGHT		TELEVISION CABLE OUTLET
	FLOOR DUPLEX RECTANGLE OUTLET		EXHAUST FAN
	SWITCH		EXHAUST FAN AND LIGHT
	THREE WAY SWITCH		CEILING FAN
	FOUR WAY SWITCH		UNDER CABINET LIGHT
	SPECIAL OUTLET - VERIFY		LED STRIP LIGHT
	SMOKE DETECTOR		
	GARAGE DOOR SENSOR		
	THERMOSTAT		
	PUSH BUTTON OR JAMB SWITCH		
	CHIME		
	FLOOD LIGHT - DIRECTIONAL		
	JUNCTION BOX		
	RECESSED CAN L.E.D.		
	RECESSED CAN L.E.D. VAPOR PROOF LIGHT		
	SLOPED CEILING RECESSED CAN L.E.D.		

1 SECOND FLOOR ELECTRICAL PLAN
E.2
0' 2' 4' 8'

GENERAL ELECTRICAL NOTES:
1. SEE SHEET E.1 FOR ADDITIONAL ELECTRICAL NOTES.



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E.2